



NOTICE OF MEETING AND AGENDA SPECIAL COUNCIL MEETING

Monday, May 27, 2024, 9:00 AM
Memorial Hall, 290 Esplanade Avenue,
Harrison Hot Springs, BC V0M 1K0

THIS MEETING WILL BE CONDUCTED IN-PERSON AND VIA ZOOM VIDEO CONFERENCE

1. CALL TO ORDER

Meeting called to order by Mayor Wood
Acknowledgement of Sts'ailes traditional territory.

2. INTRODUCTION OF LATE ITEMS

3. APPROVAL OF AGENDA

4. NEW BUSINESS

(a) State of Local Emergency
Report of Chief Administrative Officer dated May 21, 2024
Re: SenseNet Update

Page 1

Recommendation:

THAT Council select one of the following options:

Option 1:

THAT Council direct staff to work with Rogers Communications to install the SenseNet/SenseCore system that includes software, 65 sensors, 4 gateways and 3 zoom cameras to be deployed in strategic locations including the East Sector Lands at a cost of up to \$150,000.00 (including installation) to be funded by general reserves.

Option 2:

THAT Council direct staff to work with Rogers Communications to install the SenseNet/SenseCore system that includes software, 100 sensors, 5 gateways and 3 zoom cameras to be deployed in strategic locations including the East Sector Lands at a cost of up to \$205,000 (including installation) to be funded by general reserves.

Option 3:

THAT Council direct staff to work with Rogers Communications to install the SenseNet/SenseCore system that includes software, 100 sensors, 5 gateways and 5 zoom cameras to be deployed in strategic locations including the East Sector Lands at a cost of up to \$235,000.00 (including installation) to be funded by general reserves.

Option 4:

THAT Council direct staff to work with BC Wildfire Service (the Province) to explore an early wildfire detection system that provides regional protection.

Subject to option 1, option 2 or option 3 being selected:

THAT Council approve an annual increase to taxation at approximately 2% (up to \$50,000 per year) to fund the annual subscription, operation and maintenance of the early wildfire detection system while the system is in operation.

THAT Council direct staff to establish a reserve fund for the expansion and/or upgrade to the early wildfire detection system.

5. CORRESPONDENCE

The following items of correspondence were received by Council resolution at the May 21, 2024 Regular Council Meeting, however, discussion under “Business Arising from Correspondence” was not completed prior to meeting adjournment.

(a) Letter dated May 15, 2024 from Fire Chief Genest Page 5
Re: SenseNet

(b) Email dated April 15, 2024 from Harrison Watersports Page 7
Re: Harrison Watersports

6. BUSINESS ARISING FROM CORRESPONDENCE**7. REPORTS OF COUNCILLORS, COMMITTEES, COMMITTEE OF THE WHOLE AND COMMISSIONS**

(a) Report of the Environmental Advisory Committee dated May 21, 2024 Page 13

8. REPORTS FROM MAYOR**9. REPORTS FROM STAFF**

(b) Report of Corporate Officer dated May 21, 2024 Page 15
Re: Release of Legal Invoices

Recommendation:

THAT the Corporate Officer’s report dated May 21, 2024 attaching legal invoices identifying the subject matter and dollar amount from November 1, 2022 to March 31, 2024 be received for information.

(c) Report of Community Services Manager dated May 21, 2024 Page 35
Re: Accessible Playground and Shade Features – Contract Award

Recommendation:

THAT the Community Services Manager's report dated May 21, 2024 regarding Accessible Playground and Shade Features contract award to Habitat Systems be received for information.

- (d) Report of Planning Consultant dated May 21, 2024
Re: Harrison Watersports Crown Land Tenure Application

Page 41

Recommendation:

THAT Council reject the proposed new location for the Harrison Watersports' commercial moorage.

- (e) Report of Planning Consultant dated May 21, 2024
Re: Development Permit – 318 Hot Springs Road

Page 57

Recommendation:

THAT Development Permit DP 05/23 be issued to 1044018 BC Limited for the property located at 318 Hot Springs Road, Harrison Hot Springs for land legally described as:

Lot # (AE36501) Sec 13, Twp 4, Rg 29, W6M, New Westminster Land District Plan 251

Subject to the Village receiving an irrevocable Letter of Credit in the amount of \$7,613.00.

- (f) Report of Planning Consultant dated May 21, 2024
Re: Development Permit – 511 Lillooet Avenue

Page 79

Recommendation:

THAT Development Permit DP 05/22 be issued to 2118 Development Limited for property located at 511 Lillooet Avenue, Harrison Hot Springs for land legally described as:

Lot A, Sec 13, Twp 4, Rg 29, W6M, New Westminster District Plan EPP 108940
Subject to the following;

- a) The registration of a save-harmless flood covenant that is acceptable to the Village, be placed on title;
- b) For the installation of or the placement of any signs on the building or structure, the applicant must follow the requirements as outlined in the Village of Harrison Hot Springs Sign Bylaw No. 1126, 2018, as amended from time to time. To start this process, a Comprehensive Sign Plan application must be submitted, and approved by the Village;
- c) The pending Zoning Bylaw text amendments, associated with this site, are approved;

- d) The applicant entering into a Works and Services Agreement, to address servicing, frontage improvements, the placement of street furniture and the update to the Rendall Park washroom facilities,
- e) The applicant entering into a Works and Services Agreement to address the Landscaping requirements,
- f) The applicant entering into a covenant to address the placement of an Electric Vehicle Charging outlet, and
- g) The Village receiving an Irrevocable Letter of Credit in the amount of \$2,052,334.00.

(g) Report of Planning Consultant dated May 21, 2024
 Re: Development Permit – 553 and 555 Lillooet Avenue

Page 111

Recommendation:

THAT Development Permit DP 03/23 be issued to 1103593 BC Limited for property located at 533 and 555 Lillooet Avenue, Harrison Hot Springs for land legally described as:

- i. Lot 2 Except part subdivided by Plan 70793, Sec 13 Township 4, Range 29 West of the 6th Meridian, New Westminster District Plan 59945, and
- ii. Lot A, Sec 13 Township 4, Range 29 West of the 6th Meridian, New Westminster District Plan 70793

Subject to the following;

- a) The Village receiving an Irrevocable Letter of Credit in the amount of \$650,353.00;
- b) The Fraser Valley Regional District issuing a Demolition Permit for any building or structures on the proposed site;
- c) The provision of at least one electric vehicle charging outlet being installed on the proposed site;
- d) The Village being provided with a copy of the Ministry of Transportation and Infrastructure access permit;
- e) The provision of a covenant indicating that the applicant must provide at least 4 accessible Parking Stalls, that are the closest to the proposed development;
- f) A Comprehensive Sign permit being issued by the Village;
- g) The applicant entering into a Works and Services Agreement for utilities and frontage improvements with the Village;
- h) The applicant entering into a Landscaping Agreement with the Village;
- i) The applicant entering into a flood plain covenant;
- j) The application be referred to the Village's Fire Department for their comments and recommendations. Any recommendations must be included in the Planning Review stage on the issuance of a building permit; and
- k) A report prepared by a competent professional with at least 10 years of professional experience, and accepted by the Village, that addresses:
 - i. The estimation on the demand to be generated by the proposed development for water, and sewer services and in the case of any phased development, by each phase of the development;

- ii. An analysis of the existing community water system and the existing community sewer system and outlining the options available for the supply and delivery of water and the provision of sewer services to the proposed development;
- iii. An estimation of the amount of additional surface drainage that could be generated by the proposed development and the options available for on-site retention/absorption, collection, storage, and dispersal of such drainage;
- iv. Identification of, if applicable, the new capital works required for the proposed development for water, sewer, and the drainage systems and their cost and the potential funding sources for these expenditures.

10. BYLAWS

(a) Report of Corporate Officer dated May 21, 2024
 Re: Discharge of Firearms Bylaw No. 1207, 2024

Page 135

Recommendation:

THAT Discharge of Firearms Bylaw No. 1207, 2024 be adopted.

(b) Report of Planning Consultant dated May 21, 2024
 Re: Small-Scale Multi-Unit Housing Requirements

Page 139

Recommendations:

THAT Council direct staff to apply for an exemption on the prescribed number of housing units on a given lot, commonly referred to as Site Standards B and C; and

THAT Council direct staff to post the required public notice for the adoption of the attached Zoning Amendment Bylaw No. 1208, 2024.

11. NEW BUSINESS

12. QUESTIONS FROM THE PUBLIC (pertaining to agenda items only)

13. ADJOURNMENT



Amanda Graham
 Corporate Officer

File No: 7320-02
Date: May 21, 2024

To: Mayor and Council
From: Tyson Koch, Chief Administrative Officer
Subject: SenseNet Update

RECOMMENDATION

THAT Council select one of the following options:

Option 1:

THAT Council direct staff to work with Rogers Communications to install the SenseNet/SenseCore system that includes software, 65 sensors, 4 gateways and 3 zoom cameras to be deployed in strategic locations including the East Sector Lands at a cost of up to \$150,000.00 (including installation) to be funded by general reserves.

Option 2

THAT Council direct staff to work with Rogers Communications to install the SenseNet/SenseCore system that includes software, 100 sensors, 5 gateways and 3 zoom cameras to be deployed in strategic locations including the East Sector Lands at a cost of up to \$205,000 (including installation) to be funded by general reserves.

Option 3:

THAT Council direct staff to work with Rogers Communications to install the SenseNet/SenseCore system that includes software, 100 sensors, 5 gateways and 5 zoom cameras to be deployed in strategic locations including the East Sector Lands at a cost of up to \$235,000.00 (including installation) to be funded by general reserves.

Option 4:

THAT Council direct staff to work with BC Wildfire Service (the Province) to explore an early wildfire detection system that provides regional protection.

Subject to option 1, option 2 or option 3 being selected:

THAT Council approve an annual increase to taxation at approximately 2% (up to \$50,000 per year) to fund the annual subscription, operation and maintenance of the early wildfire detection system while the system is in operation.

THAT Council direct staff to establish a reserve fund for the expansion and/or upgrade to the early wildfire detection system.

SUMMARY

To provide an update to Council regarding SenseNet Wildfire Detection Solutions proposed to be installed in the Village of Harrison Hot Springs.

BACKGROUND

At the April 3rd, 2024 Regular Meeting of Council, the following resolution was considered by Council and failed:

THAT Council sole-source to approve the acquisition of SenseNet interface fire detection system, which is generally described as 65 sensors, 4 gateways and 3 zoom cameras to be deployed in the East Sector forest with time being of the essence.

**MOTION FAILED
OPPOSED BY COUNCILLORS FACIO, JACKSON, VIDAL**

At the April 30th, 2024 Special Meeting of Council, the following resolution was reconsidered by Mayor Wood per section 131 of the *Community Charter* and carried:

THAT Council sole-source to approve the acquisition of SenseNet Interface Fire Detection System, which is generally described as 65 sensors, 4 gateways and 3 zoom cameras to be deployed in the East Sector forest with time being of the essence.

At 10:34 am, Mayor Wood declared Councillor Facio's Zoom connection was lost and deemed him to be no longer in attendance.

Council voted on the reconsidered motion.

**CARRIED
OPPOSED BY COUNCILLOR VIDAL**

DISCUSSION

After the April 30th, 2024 Special Meeting of Council, staff reached out to SenseNet to request a meeting to gather all the information required to present to Council. SenseNet and Rogers Communications representatives presented their information to staff (which included a Fire Department member) on May 14th, 2024. SenseNet representatives requested that the proposal prepared for the Village remain confidential as it contains proprietary information therefore staff will not be sharing the proposal with the public.

During the meeting with staff, it was determined that Rogers Communications is the service provider and is responsible for installation, operation and maintenance of the early fire detection system, SenseNet just provides the software and equipment to Rogers Communications (which includes the sensors, gateways and cameras). In addition, Rogers Communications will be the project manager (PM) for the project, which will include engaging all stakeholders, obtaining all necessary permits, and managing indigenous consultation as required. The SenseNet representative recommended including the westerly portion of the Village to provide protection

to the whole Village, not just the East Sector Lands. The SenseNet representative also advised staff that this equipment will not detect fires outside the general vicinity of the Village.

When the system detects a fire, it is set up to send a notification in the form of an email, text or to a call center to alert/call the local authority of the location of the fire. Staff is recommending the notifications be directed to the Fire Chief and Deputy Fire Chief for response. During discussions with a FD team member, it was determined that FD members will not enter the forest (crown lands) as this area falls under the BC Wildfire Service's jurisdiction, therefore they would be notifying the appropriate authorities to respond accordingly. The Village FD would only be on scene to provide support.

Staff brought forward privacy concerns regarding the cameras, which can have a sight line of up to 50 kilometers. SenseNet representatives advised that people, vehicles and houses are blurred by the cameras in order to mitigate privacy concerns. The Village is responsible for complying with its obligations under the *Freedom of Information and Protection of Privacy Act*. Accordingly, staff will be obtaining a legal opinion to determine whether there are any additional steps that the Village must take in order to ensure that the project meets public privacy requirements.

FINANCIAL CONSIDERATIONS

SenseNet is offering promotional pricing for the installation of their sensors, cameras, and gateway as well as the first year of monitoring. Up-front costs will range from \$129,000 to \$204,000 dependent upon the package selected, plus an additional estimated \$20,000 to \$30,000 for contractor installation.

Moving forward, subscription and monitoring services will have an annual cost of \$50,000. This will result in an estimated 2% tax increase for all residents beginning in 2025 to cover the cost of these services.

It should be noted, the equipment has a 5-to-10-year life span. Replacement costs are covered as part of the annual subscription. It is unknown at this time whether there will be any future increase to the subscription cost.

Staff recommend establishing a reserve fund to fund future expansion and/or upgrade to the system.

POLICY CONSIDERATIONS

2023 Strategic Plan Priorities

Public Safety – To ensure and enhance public safety.

Respectfully submitted by:



Tyson Koch
Chief Administrative Officer

Financial Considerations Reviewed by:



Scott Schultz
Chief Financial Officer, Deputy CAO



HARRISON *Hot Springs* Fire Department

Amanda Graham, Corporate Officer

Village of Harrison Hot Springs, Resort Municipality
Box 160, 495 Hot Springs Road
Harrison Hot Springs, BC
V0M 1K0

May 15, 2024

Hello Amanda,

I am writing in regards to the Sensenet proposal that was tabled at the last council meeting. The proposal was approved by council to move forward with the purchasing and installment of the Sensenet equipment within the village.

I met with the Sensenet advisors and gathered information regarding this program and how it works. The original proposal was for 65 sensors + 4 gateways + 3 cameras at a cost of \$129,000. There was also an additional \$50,000 subscription cost which starts the second year of the program. This proposal was only going to support the East Sector area. I would like to bring forward my thoughts on this item and the proposal to have 100 sensors + 5 gateways + 3 cameras at the cost of \$170,000. There is also the additional \$50,000 subscription cost which starts the second year of the program. With this proposal, it will cover the entire village.

I would like to have this item put onto the agenda for the May 21 2024 council meeting for discussion and for the potential approval.

Regards,

Curtis Genest

Fire Chief, Village of Harrison Hot Springs

Box 160, 555 Hot Springs Road
Harrison Hot Springs, BC
V0M 1K0

From: Harrison Watersports <hwsportsmitch@gmail.com>

Date: April 15, 2024 at 9:45:33 AM PDT

To: Tyson Koch <tkoch@harrisonhotsprings.ca>

Subject: Harrison Watersports Inc.

Good morning Tyson,


In August 2023, Harrison Watersports submitted an application to the Village of Harrison and Council regarding our request for consideration and an approval to obtain a new tenure location for our seasonal watersports business. In October 2023, our application was discussed during a scheduled council meeting, but then referred back to Village staff for further discussion and consideration. Upon further review with staff, it was communicated to all applicable parties involved that the location submitted would not be approved. We then worked with our consultant, All Tides Consulting, and altered the location and provided more information that was requested and resubmitted our application. The second application was again denied. We had sent many requests via email regarding the possibility of a meeting with Village staff and ourselves, in order to discuss options, possibilities, and to answer any pending questions they had regarding our submission. Unfortunately, the staff denied any such meetings, as well as, they did not want to move forward with any further communication. As you are well aware, we have been in business in Harrison since 1996, and have been a highly contributing asset to Harrison's Tourism. We are looking to obtain support, guidance and hopeful consideration from the Village and Council in order to be able to continue to support our growing tourism community with fun family activities.

Harrison Watersports would like to work with the Village and Council in hopes to come to a positive conclusion that would work for all parties. We kindly request your guidance and feedback regarding our submission and future tenure. Please also see the attached letters of support from The Chambers of Commerce and Tourism Harrison, and other supporting documents.

We appreciate your time and attention to this matter, and look forward to your prompt response.

Sincerely,

Mitchell Schindle
Company Director
Harrison Watersports

 hwsportsmitch@gmail.com

 <https://harrisonwatersports.com>

 100 Esplanade Ave, Harrison Hot Springs

To: The Village, Mayor, and council

Harrison Watersports is a family run business currently operating in the Village of Harrison Hot Springs, BC. It is a company devoted to providing fun and exciting activities for all ages, while keeping the highest regards for safety. The company has been operating safely on Harrison Lake for the past 30 years and was originally built from a foundation of love and passion for the watersports industry. The founder, Craig Schindle, worked in the hospitality/tourism sector for 38 years, working for the Harrison Hot Springs Resort & Spa. While working at the resort, he continued to see the demand for family activities on Harrison Lake from tourism guests. During this time, there was not a lot provided in the way of watersports activities or equipment, so Harrison Watersports was envisioned through inspiration. Years later, Harrison Watersports captured an abundance of tourism when Craig introduced one of the largest inflatable waterparks in the world and has continued to be a major attraction in the community to date. Harrison Watersports provides the Village of Harrison with a very unique service that promotes fun family activities in the area. Much of the tourism that visits Harrison on a yearly basis is brought in through our watersports and adventure attractions, and it continues to compliment Harrison by giving our town more character and vibrancy. It also continues to bring in tourism from not only BC and other provinces in Canada, but internationally as well.

Harrison Hot Springs is a resort destination that focuses on tourism to support and sustain the local economy and businesses. Given the highly competitive tourism market, it is crucial that Harrison has unique attractions and amenities to attract families, particularly in the peak summer months. Harrison Hot Springs benefits directly from increased levels of tourism by supporting these attractions. Additional tourism dollars spent on the paid parking system in the summer months also generates revenue for the Village. The money that tourists spend can be reinvested into the local economies. Harrison Watersports has welcomed 35,000-45,000 patrons to Harrison on a yearly basis over the last two summer seasons.

Tourism is a sector that is all about the people, and as such is an incredible source of employment for small local communities. Each job created provides additional income that is spent locally. Harrison Watersports employs roughly 25-30 staff seasonally, with a majority being from the local community. The additional tourism dollars being spent also benefits the local merchants. Tourism continues to support these businesses, and also fosters new business ventures into the area as well. It also continues to unite people from all different cultures. Tourists are drawn to vibrant cultural destinations, where they can immerse themselves in the local

cuisine, music and attractions. Harrison Watersports continues to offer affordable recreational activities within the community that welcomes all ages. This company is one of the leading tourism providers within the Village of Harrison.

Harrison Watersports is currently seeking your consideration and approval to relocate our tourism operation moorage to another location within the jurisdiction and boundaries. Please keep in mind that the floating waterpark location will not be moving, Just the location of the commercial recreation moorage. This is outlined well in site plans included with this letter, for your review.

We need your support for a commercial recreation moorage on Harrison Lake to continue our business operations and much needed and popular tourism attractions. Our current moorage location can no longer provide us with the tenure we require to operate our business, as we require long term tenure to continue to facilitate our business needs. Previously we had been receiving a 5-year sub-lease contract from the Resort, which quickly turned into a 2-year sub-lease. Now in 2023, the Resort has decided to offer us a 1-year sub-lease with no promise of continuation. With this continued decrease in contract length, it has made it very difficult for Harrison Watersports to operate. Our company wants to operate successfully and be able to provide these popular attractions, so that we can continue to bring in tourism to our community. We believe that the Harrison Watersports application area will work hand in hand with the outdoor activity structure and area that The Village has just completed construction on in 2023.

Harrison Watersports would love to continue to flourish and provide amusement, entertainment, and positive experiences in the community. We fear that our business will have to shut down and discontinue without support from our community. We are seeking support from the Harrison community and Municipal staff for this solution to keep Harrison Watersports a part of this community for many years to come.

Sincerely
The Schindle family

April 4th, 2024

Mayor and Council
Village of Harrison Hot Springs
495 Hot Springs Road, P.O. Box 160
Harrison Hot Springs, BC V0M 1K0

RE: Timely updates & clear communication request

Dear Mayor Wood and Council Members,

On behalf of the Harrison Agassiz Chamber of Commerce, which proudly serves the business communities of Harrison Hot Springs, Agassiz/District of Kent, Harrison Mills, and the surrounding Indigenous communities, I am writing to express our commitment to fostering a supportive environment for all businesses within our region. Our Chamber advocates for policies and practices that promote economic growth and the well-being of our diverse business community.

One of the hallmarks of our region is its vibrant mix of businesses that contribute significantly to our local economy, culture, and community life. A prime example of such a business is Harrison Watersports, a family-owned enterprise that has provided employment opportunities for over 30 individuals during peak season and has been a cornerstone of our tourism and recreational offerings for many years. Their dedication to the community and role in attracting visitors to our region cannot be overstated.

While we understand that each business's circumstances and needs may differ, leading to varying views on specific municipal decisions, we believe in the importance of a transparent, informed, and expedient decision-making process by our municipal authorities. This approach not only aids businesses in navigating challenges and planning for the future but also strengthens the trust and collaboration between the business community and municipal governance.

Therefore, we respectfully request that the Village Council and municipal staff work towards providing more timely updates, clear communication regarding the status of requests and applications, and estimated timelines for decisions. We appreciate that municipal decision-making involves complex considerations and aim not to diminish this complexity but to advocate for a process that allows businesses to remain informed and prepared.

Our Chamber recognizes the efforts and challenges faced by the municipality in balancing diverse interests and the well-being of our communities. We are committed to working collaboratively towards solutions that support business sustainability and community prosperity.

We believe that by enhancing communication and transparency in municipal processes, we can collectively ensure the Harrison Agassiz region remains a vibrant, attractive, and competitive place to live, work, and visit. We look forward to your support in this endeavour and are available to discuss this further at your convenience.

Thank you for considering our perspective. We are eager to contribute to a dialogue that advances the interests of our business community and the broader Harrison Agassiz region.

Sincerely,



Rob Hole
President
Harrison Agassiz Chamber of Commerce
P: 780-826-0083 / E: rob@octopuscreative.ca



AGASSIZ • HARRISON HOT SPRINGS • HARRISON MILLS
HARRISON RIVER VALLEY

March 31st, 2024

Mayor and Council
Village of Harrison Hot Springs
495 Hot Springs Road, P.O. Box 160
Harrison Hot Springs, BC V0M 1K0

RE: Harrison Watersports

Dear Mayor Wood and Council Members,

Tourism Harrison River Valley has for the last 17 years been working with tourism partners throughout our region to create a vibrant tourism economy that benefits both visitors and residents alike which is reflected in our stated mission: “to collaborate with our partners to grow our tourism offerings and responsibly steward our tourism assets for all.” Tourism is the primary industry of Harrison Hot Springs, and its success ensures a vibrant economy, plentiful employment opportunities and significant property taxes to support municipal infrastructure.

One of our key summer attractions, Harrison WaterSports, brings in thousands of visitors every summer and provides a wonderful venue for youth and those young at heart to enjoy Harrison’s version of “Wipeout”. This family-owned business has a long history in Harrison, a strong following, and has grown to employ up to 30 people. They have been good and active partners for Tourism Harrison providing giveaway tickets for contests and promotions.

We have been informed that they are looking to change certain logistics of their operation and potentially move location. While we are not in a position to speak to the legal issues surrounding beach access or water lots, we would encourage the Village to provide timely and transparent responses to information requests so that Harrison WaterSports can plan its future operations effectively and efficiently.

We understand how busy Village staff are and realize they have many competing demands. We have worked closely with Village staff over the years and appreciate their dedication and professionalism and would simply encourage clarity for Harrison WaterSports as they attempt to execute their plans for the future.

Sincerely

Robert Reyerse
Executive Director
Tourism Harrison

cc Mitchell Schindle, Harrison Watersports



TOURISM HARRISON RIVER VALLEY

tourismharrison.com

499 Hot Springs Road | 604.796.5581

JUST ^{up} The ROAD

File No: 0360-20-07

Date: May 21, 2024

To: Mayor and Council
From: Amanda Graham, Corporate Officer
Subject: Environmental Advisory Committee Report

SUMMARY

To present resolutions and information on behalf of the Environmental Advisory Committee for Council's consideration.

BACKGROUND

On Wednesday, May 8th, 2024, the Environmental Advisory Committee met and unanimously passed the following resolution regarding recommended Council action:

THAT Council direct staff to explore thermoplastic options to replace the existing fish markings on storm drains in the Village.

Additionally, during a discussion under the agenda item "2023 Strategic Plan" the Community Services Manager provided the following update to the Committee:

The Community Services Manager highlighted the Environmental Protection Strategic Priority and gave an overview of the priority actions including developing a climate action and mitigation plan, conducting an environmental review of the Miami River, and developing an action plan for a portion of the lagoon. The Miami River Streamkeepers Society conducts regular water testing at multiple sites along the river. If a representative from the Department of Fisheries and Oceans can attend an upcoming meeting, the Committee can have the opportunity to ask about further testing and/or assessments.

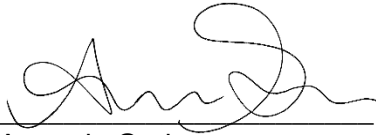
The Community Services Manager advised that the Fraser Valley Regional District is planning to do a regional Climate Action Plan that would include the Village of Harrison Hot Springs. There will be opportunities for engagement from the community and the Committee when that process begins.

POLICY CONSIDERATIONS

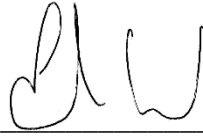
2023 Strategic Plan Priorities

Environmental Protection – To restore and protect the environment for future generations.

Respectfully submitted:



Amanda Graham
Corporate Officer



Ed Wood, Chair
Environmental Advisory Committee

File No: 4200-01
Date: May 21, 2024

To: Mayor and Council
From: Amanda Graham, Corporate Officer
Subject: Release of Legal Invoices

RECOMMENDATION

THAT the Corporate Officer's report dated May 21, 2024 attaching legal invoices identifying the subject matter and dollar amount from November 1, 2022 to March 31, 2024 be received for information.

SUMMARY

To release legal invoices as requested by Council.

BACKGROUND

At the April 3, 2024 Regular Council Meeting, Council passed the following resolution:

Moved by Mayor Wood
Seconded by Councillor Allen

THAT Council release all legal invoices from November 1, 2022 to April 3, 2024, identifying only the subject matter and dollar amount.

CARRIED
UNANIMOUSLY
RC-2024-04-25

DISCUSSION

Attached to this report are copies of the Billing Summaries received by the Village from Lidstone and Company Barristers and Solicitors for the provision of legal services between November 1, 2022 and to March 31, 2024.

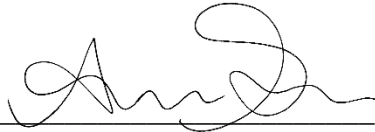
FINANCIAL CONSIDERATIONS

There are no financial considerations associated with this report.

POLICY CONSIDERATIONS

There are no policy considerations associated with this report.

Respectfully submitted:



Amanda Graham
Corporate Officer

Reviewed by:



Tyson Koch
Chief Administrative Officer

Attachment: Billing Summaries from Lidstone and Company

LIDSTONE & COMPANY BARRISTERS AND SOLICITORS

DEC 13 2022

November 30, 2022

Village of Harrison Hot Springs
Box 160
495 Hot Springs Road
Harrison Hot Springs, BC V0M 1K0

Attention: Scott Schultz, Finance Manager

BILLING SUMMARY

Summary

Invoice	Fees	GST	PST	Balance
10182-080; Sundry - Corporate Officer Enquiries (Debra Key)				
45200	549.00	27.45	38.43	614.88
10182-085; Sundry - Labour and Employment Enquiries				
45201	854.00	42.70	59.78	956.48
10182-099; Casual Legal Services				
45202	0.00	0.00	0.00	0.00
10182-105; Council Matter (Bill sent directly to the Mayor)				
45203	1,151.50	57.58	80.61	1,289.69
Totals:	\$2,554.50	\$127.73	\$178.82	\$2,861.05

Please Pay \$2,861.05

THIS IS OUR ACCOUNT HEREIN

Lidstone & Company
Per:



Sara Dubinsky

GST Registration No. 85104 8462 RT0001

E. & O.E.

VANCOUVER OFFICE:
#1300 - SUN TOWER - 128 PENDER STREET WEST
VANCOUVER, BC V6B 1R8

CALGARY OFFICE:
BOW VALLEY SQUARE 2, #3300 - 205 5TH AVENUE, SW
CALGARY, AB T2P 2V7

TOLL FREE 1.877.339.2199 - TELEPHONE 604.899.2269 - FACSIMILE 604.899.2281

LIDSTONE & COMPANY BARRISTERS AND SOLICITORS

December 31, 2022

Village of Harrison Hot Springs
Box 160
495 Hot Springs Road
Harrison Hot Springs, BC V0M 1K0

Attention: Scott Schultz, Finance Manager

BILLING SUMMARY

Summary

Invoice	Fees	Expenses	GST	PST	Balance
10182-050; Sundry - CAO Enquiries 45549	619.00	0.00	30.95	43.33	693.28
10182-080; Sundry - Corporate Officer Enquiries (Debra Key) 45550	1,252.50	11.00	63.18	88.45	1,415.13
10182-085; Sundry - Labour and Employment Enquiries (Invoice sent directly to Debra Key) 45551	1,609.50	0.00	80.48	112.67	1,802.65
10182-099; Casual Legal Services 45552	0.00	0.00	0.00	0.00	0.00
10182-105; Council Matter (Bill sent directly to Debra Key - Deputy CAO) 45553	2,115.00	0.00	105.75	148.05	2,368.80
Totals:	\$5,596.00	\$11.00	\$280.36	\$392.50	\$6,279.86

Please Pay \$6,279.86

THIS IS OUR ACCOUNT HEREIN

Lidstone & Company
Per:



Sara Dubinsky

GST Registration No. 85104 8462 RT0001

E. & O.E.

VANCOUVER OFFICE:
#1300 - SUN TOWER - 128 PENDER STREET WEST
VANCOUVER, BC V6B 1R8

CALGARY OFFICE:
BOW VALLEY SQUARE 2, #3300 - 205 5TH AVENUE, SW
CALGARY, AB T2P 2V7

TOLL FREE 1.877.339.2199 - TELEPHONE 604.899.2269 - FACSIMILE 604.899.2281

LIDSTONE & COMPANY BARRISTERS AND SOLICITORS

January 31, 2023

Village of Harrison Hot Springs
Box 160
495 Hot Springs Road
Harrison Hot Springs, BC V0M 1K0

Attention: 199 Scott Schultz, Finance Manager

BILLING SUMMARY

Summary

Invoice	Fees	GST	PST	Balance
10182-080; Sundry - Corporate Officer Enquiries (Debra Key)				
46373	305.50	15.28	21.39	342.17
10182-085; Sundry - Labour and Employment Enquiries (Invoice sent directly to Debra Key)				
46374	152.50	7.63	10.68	170.81
10182-105; Council Matter (Bill sent directly to Debra Key - Deputy CAO)				
46375	3,468.50	173.43	242.80	3,884.73
Totals:	\$3,926.50	\$196.34	\$274.87	\$4,397.71

Please Pay \$4,397.71

THIS IS OUR ACCOUNT HEREIN

Lidstone & Company
Per:



Sara Dubinsky

GST Registration No. 85104 8462 RT0001

E. & O.E.

VANCOUVER OFFICE:
#1300 - SUN TOWER - 128 PENDER STREET WEST
VANCOUVER, BC V6B 1R8

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CALGARY, AB T2P 2V7

TOLL FREE 1.877.339.2199 - TELEPHONE 604.899.2269 - FACSIMILE 604.899.2281

LIDSTONE & COMPANY BARRISTERS AND SOLICITORS

February 28, 2023

Village of Harrison Hot Springs
Box 160
495 Hot Springs Road
Harrison Hot Springs, BC V0M 1K0

Attention: Scott Schultz, Finance Manager

BILLING SUMMARY

Summary

Invoice	Fees	GST	PST	Balance
10182-020; Sundry - Audit Enquiries 46878	199.50	9.98	13.97	223.45
10182-085; Sundry - Labour and Employment Enquiries (Invoice sent directly to Debra Key) 46879	876.50	43.83	61.36	981.69
10182-105; Council Matter 46880	8,431.00	421.55	590.17	9,442.72
Totals:	\$9,507.00	\$475.36	\$665.50	\$10,647.86

Please Pay \$10,647.86

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Lidstone & Company
Per:



Sara Dubinsky

GST Registration No. 85104 8462 RT0001

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TOLL FREE 1.877.339.2199 - TELEPHONE 604.899.2269 - FACSIMILE 604.899.2281

LIDSTONE & COMPANY BARRISTERS AND SOLICITORS

March 31, 2023

Village of Harrison Hot Springs
Box 160
495 Hot Springs Road
Harrison Hot Springs, BC V0M 1K0
Attention: Kelly Ridley, Interim CAO

BILLING SUMMARY

Summary

Invoice	Fees	Expenses	GST	PST	Balance
10182-015; Sundry - Conflict of Interest					
47349	1,474.50	30.30	75.25	105.34	1,685.39
10182-050; Sundry - CAO Enquiries					
47350	2,339.00	0.00	116.95	163.73	2,619.68
10182-080; Sundry - Corporate Officer Enquiries (Debra Key)					
47351	122.00	0.00	6.10	8.54	136.64
10182-085; Sundry - Labour and Employment Enquiries					
47352	2,729.50	0.00	136.48	191.07	3,057.05
10182-105; Council Matter					
47353	10,292.50	136.95	521.48	730.07	11,681.00
Totals:	\$16,957.50	\$167.25	\$856.26	\$1,198.75	\$19,179.76

Please Pay **\$19,179.76**

THIS IS OUR ACCOUNT HEREIN

Lidstone & Company
Per:



Sara Dubinsky

GST Registration No. 85104 8462 RT0001

E. & O.E.

VANCOUVER OFFICE:
#1300 - SUN TOWER - 128 PENDER STREET WEST
VANCOUVER, BC V6B 1R8

CALGARY OFFICE:
BOW VALLEY SQUARE 2, #3300 - 205 5TH AVENUE, SW
CALGARY, AB T2P 2V7

TOLL FREE 1.877.339.2199 - TELEPHONE 604.899.2269 - FACSIMILE 604.899.2281

LIDSTONE & COMPANY BARRISTERS AND SOLICITORS

April 30, 2023

Village of Harrison Hot Springs
Box 160
495 Hot Springs Road
Harrison Hot Springs, BC V0M 1K0
Attention: Kelly Ridley, Interim CAO

BILLING SUMMARY

Summary

Invoice	Fees	GST	PST	Balance
10182-020; Sundry - Audit Enquiries 47805	234.00	11.70	16.38	262.08
10182-050; Sundry - CAO Enquiries 47806	3,833.00	191.65	268.31	4,292.96
10182-070; Sundry - FOI Enquiries 47807	352.50	17.63	24.68	394.81
10182-085; Sundry - Labour and Employment Enquiries 47808	1,938.00	96.90	135.66	2,170.56
10182-105; Council Matter 47809	942.50	47.13	65.98	1,055.61
Totals:	\$7,300.00	\$365.01	\$511.01	\$8,176.02

Please Pay \$8,176.02

THIS IS OUR ACCOUNT HEREIN

Lidstone & Company
Per:



Sara Dubinsky

GST Registration No. 85104 8462 RT0001

E. & O.E.

VANCOUVER OFFICE:
#1300 - SUN TOWER - 128 PENDER STREET WEST
VANCOUVER, BC V6B 1R8

CALGARY OFFICE:
BOW VALLEY SQUARE 2, #3300 - 205 5TH AVENUE, SW
CALGARY, AB T2P 2V7

TOLL FREE 1.877.339.2199 - TELEPHONE 604.899.2269 - FACSIMILE 604.899.2281

LIDSTONE & COMPANY BARRISTERS AND SOLICITORS

May 31, 2023

Village of Harrison Hot Springs
Box 160
495 Hot Springs Road
Harrison Hot Springs, BC V0M 1K0

Attention: Kelly Ridley, Interim CAO

BILLING SUMMARY

Summary

Invoice	Fees	GST	PST	Balance
10182-070; Sundry - FOI Enquiries 48377	855.00	42.75	59.85	957.60
10182-085; Sundry - Labour and Employment Enquiries 48378	751.50	37.58	52.61	841.69
Totals:	\$1,606.50	\$80.33	\$112.46	\$1,799.29

Please Pay \$1,799.29

THIS IS OUR ACCOUNT HEREIN

Lidstone & Company
Per:



Sara Dubinsky

GST Registration No. 85104 8462 RT0001

E. & O.E.

VANCOUVER OFFICE:
#1300 - SUN TOWER - 128 PENDER STREET WEST
VANCOUVER, BC V6B 1R8

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BOW VALLEY SQUARE 2, #3300 - 205 5TH AVENUE, SW
CALGARY, AB T2P 2V7

TOLL FREE 1.877.339.2199 - TELEPHONE 604.899.2269 - FACSIMILE 604.899.2281

LIDSTONE & COMPANY BARRISTERS AND SOLICITORS

June 30, 2023

Village of Harrison Hot Springs
Box 160
495 Hot Springs Road
Harrison Hot Springs, BC V0M 1K0
Attention: Tyson Koch, Interim CAO

BILLING SUMMARY

Summary

Invoice	Fees	GST	PST	Balance
10182-050; Sundry - CAO Enquiries 48925	378.50	18.93	26.50	423.93
10182-102; Lane Closure and Transfer 48926	122.00	6.10	8.54	136.64
Totals:	\$500.50	\$25.03	\$35.04	\$560.57

Please Pay \$560.57

THIS IS OUR ACCOUNT HEREIN

Lidstone & Company
Per:



Sara Dubinsky

GST Registration No. 85104 8462 RT0001

E. & O.E.

VANCOUVER OFFICE:
#1300 - SUN TOWER - 128 PENDER STREET WEST
VANCOUVER, BC V6B 1R8

CALGARY OFFICE:
BOW VALLEY SQUARE 2, #3300 - 205 5TH AVENUE, SW
CALGARY, AB T2P 2V7

TOLL FREE 1.877.339.2199 - TELEPHONE 604.899.2269 - FACSIMILE 604.899.2281

LIDSTONE & COMPANY BARRISTERS AND SOLICITORS

July 31, 2023

Village of Harrison Hot Springs
Box 160
495 Hot Springs Road
Harrison Hot Springs, BC V0M 1K0
Attention: Tyson Koch, Interim CAO

BILLING SUMMARY

Summary

Invoice	Fees	GST	PST	Balance
10182-080; Sundry - Corporate Officer Enquiries (Debra Key)				
49495	224.00	11.20	15.68	250.88
10182-105; Council Matter				
49496	2,761.00	138.05	193.27	3,092.32
Totals:	\$2,985.00	\$149.25	\$208.95	\$3,343.20

Please Pay \$3,343.20

THIS IS OUR ACCOUNT HEREIN

Lidstone & Company
Per:



Sara Dubinsky

GST Registration No. 85104 8462 RT0001

E. & O.E.

VANCOUVER OFFICE:
#1300 - SUN TOWER - 128 PENDER STREET WEST
VANCOUVER, BC V6B 1R8

CALGARY OFFICE:
BOW VALLEY SQUARE 2, #3300 - 205 5TH AVENUE, SW
CALGARY, AB T2P 2V7

TOLL FREE 1.877.339.2199 - TELEPHONE 604.899.2269 - FACSIMILE 604.899.2281

LIDSTONE & COMPANY BARRISTERS AND SOLICITORS

August 31, 2023

Village of Harrison Hot Springs
Box 160
495 Hot Springs Road
Harrison Hot Springs, BC V0M 1K0
Attention: Tyson Koch, Interim CAO

BILLING SUMMARY

Summary

Invoice	Fees	GST	PST	Balance
10182-050; Sundry - CAO Enquiries 49994	2,009.00	100.45	140.63	2,250.08
10182-085; Sundry - Labour and Employment Enquiries 49995	768.00	38.40	53.76	860.16
10182-105; Council Matter 49996	1,981.00	99.05	138.67	2,218.72
Totals:	\$4,758.00	\$237.90	\$333.06	\$5,328.96

Please Pay \$5,328.96

THIS IS OUR ACCOUNT HEREIN

Lidstone & Company
Per:



Sara Dubinsky

GST Registration No. 85104 8462 RT0001

E. & O.E.

VANCOUVER OFFICE:
#1300 - SUN TOWER - 128 PENDER STREET WEST
VANCOUVER, BC V6B 1R8

CALGARY OFFICE:
BOW VALLEY SQUARE 2, #3300 - 205 5TH AVENUE, SW
CALGARY, AB T2P 2V7

TOLL FREE 1.877.339.2199 - TELEPHONE 604.899.2269 - FACSIMILE 604.899.2281

LIDSTONE & COMPANY BARRISTERS AND SOLICITORS

September 30, 2023

Village of Harrison Hot Springs
Box 160
495 Hot Springs Road
Harrison Hot Springs, BC V0M 1K0

Attention: Tyson Koch, Interim CAO

BILLING SUMMARY

Summary

Invoice	Fees	GST	PST	Balance
10182-050; Sundry - CAO Enquiries 50407	352.00	17.60	24.64	394.24
10182-080; Sundry - Corporate Officer Enquiries (Debra Key) 50408	480.00	24.00	33.60	537.60
10182-090; Sundry - Finance Enquiries 50409	992.00	49.60	69.44	1,111.04
Totals:	\$1,824.00	\$91.20	\$127.68	\$2,042.88

Please Pay \$2,042.88

THIS IS OUR ACCOUNT HEREIN

Lidstone & Company
Per:



Sara Dubinsky

GST Registration No. 85104 8462 RT0001

E. & O.E.

VANCOUVER OFFICE:
#1300 - SUN TOWER - 128 PENDER STREET WEST
VANCOUVER, BC V6B 1R8

CALGARY OFFICE:
BOW VALLEY SQUARE 2, #3300 - 205 5TH AVENUE, SW
CALGARY, AB T2P 2V7

TOLL FREE 1.877.339.2199 - TELEPHONE 604.899.2269 - FACSIMILE 604.899.2281

LIDSTONE & COMPANY BARRISTERS AND SOLICITORS

October 31, 2023

Village of Harrison Hot Springs
Box 160
495 Hot Springs Road
Harrison Hot Springs, BC V0M 1K0
Attention: Tyson Koch, Interim CAO

BILLING SUMMARY

Summary

Invoice	Fees	GST	PST	Balance
10182-050; Sundry - CAO Enquiries 50975	3,221.50	161.08	225.51	3,608.09
10182-107; 120 Esplanade Avenue encroachment agreement 50976	488.00	24.40	34.16	546.56
Totals:	\$3,709.50	\$185.48	\$259.67	\$4,154.65

Please Pay \$4,154.65

THIS IS OUR ACCOUNT HEREIN

Lidstone & Company
Per:



Sara Dubinsky

GST Registration No. 85104 8462 RT0001

E. & O.E.

VANCOUVER OFFICE:
#1300 - SUN TOWER - 128 PENDER STREET WEST
VANCOUVER, BC V6B 1R8

CALGARY OFFICE:
BOW VALLEY SQUARE 2, #3300 - 205 5TH AVENUE, SW
CALGARY, AB T2P 2V7

TOLL FREE 1.877.339.2199 - TELEPHONE 604.899.2269 - FACSIMILE 604.899.2281

LIDSTONE & COMPANY BARRISTERS AND SOLICITORS

November 30, 2023

Village of Harrison Hot Springs
Box 160
495 Hot Springs Road
Harrison Hot Springs, BC V0M 1K0
Attention: Tyson Koch, CAO

BILLING SUMMARY

Summary

Invoice	Fees	GST	PST	Balance
10182-050; Sundry - CAO Enquiries 51461	5,335.00	266.75	373.45	5,975.20
10182-080; Sundry - Corporate Officer Enquiries (Debra Key) 51462	320.00	16.00	22.40	358.40
10182-107; 120 Esplanade Avenue encroachment agreement 51463	701.50	35.08	49.11	785.69
10182-109; Independent Review of OCP Bylaw 51464	3,078.00	153.90	215.46	3,447.36
Totals:	\$9,434.50	\$471.73	\$660.42	\$10,566.65

Please Pay \$10,566.65

THIS IS OUR ACCOUNT HEREIN

Lidstone & Company
Per:



Sara Dubinsky

GST Registration No. 85104 8462 RT0001

E. & O.E.

VANCOUVER OFFICE:
#1300 - SUN TOWER - 128 PENDER STREET WEST
VANCOUVER, BC V6B 1R8

CALGARY OFFICE:
BOW VALLEY SQUARE 2, #3300 - 205 5TH AVENUE, SW
CALGARY, AB T2P 2V7

TOLL FREE 1.877.339.2199 - TELEPHONE 604.899.2269 - FACSIMILE 604.899.2281

LIDSTONE & COMPANY BARRISTERS AND SOLICITORS

December 31, 2023

Village of Harrison Hot Springs
Box 160
495 Hot Springs Road
Harrison Hot Springs, BC V0M 1K0

Attention: Tyson Koch, CAO

BILLING SUMMARY

Summary

Invoice	Fees	Expenses	GST	PST	Balance
10182-050; Sundry - CAO Enquiries					
51643	448.00	0.00	22.40	31.36	501.76
10182-080; Sundry - Corporate Officer Enquiries					
51644	160.00	0.00	8.00	11.20	179.20
10182-085; Sundry - Labour and Employment Enquiries					
51645	416.00	0.00	20.80	29.12	465.92
10182-107; 120 Esplanade Avenue encroachment agreement					
51646	91.50	0.00	4.58	6.41	102.49
10182-108; 499 Hot Springs Road Lease Agreement					
51647	701.50	12.16	35.69	49.11	798.46
10182-109; Independent Review of OCP Bylaw					
51648	1,687.50	0.00	84.38	118.13	1,890.01
10182-110; <small>Redacted pursuant to s.12(3)(b) of the Freedom of Information and Privacy Act</small>					
51649	671.00	0.00	33.55	46.97	751.52
10182-111; <small>Redacted pursuant to s.12(3)(b) of the Freedom of Information and Privacy Act</small>					
51650	366.00	0.00	18.30	25.62	409.92
Totals:	\$4,541.50	\$12.16	\$227.70	\$317.92	\$5,099.28

Please Pay \$5,099.28

THIS IS OUR ACCOUNT HEREIN

Lidstone & Company
Per:



VANCOUVER OFFICE:
#1300 - SUN TOWER - 128 PENDER STREET WEST
VANCOUVER, BC V6B 1R8

CALGARY OFFICE:
BOW VALLEY SQUARE 2, #3300 - 205 5TH AVENUE, SW
CALGARY, AB T2P 2V7

TOLL FREE 1.877.339.2199 - TELEPHONE 604.899.2269 - FACSIMILE 604.899.2281

LIDSTONE & COMPANY BARRISTERS AND SOLICITORS

January 31, 2024

Village of Harrison Hot Springs
Box 160
495 Hot Springs Road
Harrison Hot Springs, BC V0M 1K0

Attention: Tyson Koch, CAO

BILLING SUMMARY

Summary

Invoice	Fees	Expenses	GST	PST	Balance
10182-010; Sundry-Administrative Matters					
52204	122.00	0.00	6.10	8.54	136.64
10182-050; Sundry - CAO Enquiries					
52205	928.00	0.00	46.40	64.96	1,039.36
10182-080; Sundry - Corporate Officer Enquiries					
52206	157.00	0.00	7.85	10.99	175.84
10182-105; Council Matter					
52207	480.00	0.00	24.00	33.60	537.60
10182-106; Employment Matters					
52208	192.00	0.00	9.60	13.44	215.04
10182-107; 120 Esplanade Avenue encroachment agreement					
52209	152.50	0.00	7.63	10.68	170.81
10182-108; 499 Hot Springs Road Lease Agreement					
52210	122.00	0.00	6.10	8.54	136.64
10182-110; <small>Redacted pursuant to s.12(3)(b) of the Freedom of Information and Privacy Act</small>					
52211	2,379.00	5,400.00	388.95	166.53	8,334.48
10182-111; <small>Redacted pursuant to s.12(3)(b) of the Freedom of Information and Privacy Act</small>					
52212	1,555.50	0.00	77.78	108.89	1,742.17
Totals:	\$6,088.00	\$5,400.00	\$574.41	\$426.17	\$12,488.58

Please Pay \$12,488.58

THIS IS OUR ACCOUNT HEREIN

Lidstone & Company
Per:



VANCOUVER OFFICE:
#1300 - SUN TOWER - 128 PENDER STREET WEST
VANCOUVER, BC V6B 1R8

CALGARY OFFICE:
BOW VALLEY SQUARE 2, #3300 - 205 5TH AVENUE, SW
CALGARY, AB T2P 2V7

TOLL FREE 1.877.339.2199 - TELEPHONE 604.899.2269 - FACSIMILE 604.899.2281

LIDSTONE & COMPANY BARRISTERS AND SOLICITORS

February 29, 2024

Village of Harrison Hot Springs
Box 160
495 Hot Springs Road
Harrison Hot Springs, BC V0M 1K0

Attention: Tyson Koch, CAO

BILLING SUMMARY

Summary

Invoice	Fees	Expenses	GST	PST	Balance
10182-050; Sundry - CAO Enquiries					
53061	2,566.00	0.00	128.30	179.62	2,873.92
10182-080; Sundry - Corporate Officer Enquiries					
53062	2,763.00	0.00	138.15	193.41	3,094.56
10182-085; Sundry - Labour and Employment Enquiries					
53063	160.00	0.00	8.00	11.20	179.20
10182-105; Council Matter					
53064	96.00	0.00	4.80	6.72	107.52
10182-107; 120 Esplanade Avenue encroachment agreement					
53065	5,598.50	377.07	282.78	391.90	6,650.25
10182-110; <small>Redacted pursuant to s.12(3)(b) of the Freedom of Information and Privacy Act</small>					
53066	884.50	5,315.00	309.98	61.92	6,571.40
10182-111; <small>Redacted pursuant to s.12(3)(b) of the Freedom of Information and Privacy Act</small>					
53067	1,037.00	0.00	51.85	72.59	1,161.44
Totals:	\$13,105.00	\$5,692.07	\$923.86	\$917.36	\$20,638.29

Please Pay \$20,638.29

THIS IS OUR ACCOUNT HEREIN

Lidstone & Company
Per:



Sara Dubinsky

GST Registration No. 85104 8462 RT0001

VANCOUVER OFFICE:
#1300 - SUN TOWER - 128 PENDER STREET WEST
VANCOUVER, BC V6B 1R8

CALGARY OFFICE:
BOW VALLEY SQUARE 2, #3300 - 205 5TH AVENUE, SW
CALGARY, AB T2P 2V7

TOLL FREE 1.877.339.2199 - TELEPHONE 604.899.2269 - FACSIMILE 604.899.2281

LIDSTONE & COMPANY

BARRISTERS AND SOLICITORS

March 31, 2024

Village of Harrison Hot Springs
 Box 160
 495 Hot Springs Road
 Harrison Hot Springs, BC V0M 1K0
 Attention: Tyson Koch, CAO

BILLING SUMMARY

Summary

Invoice	Fees	Expenses	GST	PST	Balance
10182-050; Sundry - CAO Enquiries					
53699	448.00	0.00	22.40	31.36	501.76
10182-080; Sundry - Corporate Officer Enquiries					
53700	352.00	0.00	17.60	24.64	394.24
10182-107; 120 Esplanade Avenue encroachment agreement					
53701	3,331.00	34.74	166.74	233.17	3,765.65
10182-110; <small>Redacted pursuant to s.12(3)(b) of the Freedom of Information and Privacy Act</small>					
53702	457.50	0.00	22.88	32.03	512.41
10182-111; <small>Redacted pursuant to s.12(3)(b) of the Freedom of Information and Privacy Act</small>					
53703	152.50	0.00	7.63	10.68	170.81
Totals:	\$4,741.00	\$34.74	\$237.25	\$331.88	\$5,344.87

Please Pay \$5,344.87

THIS IS OUR ACCOUNT HEREIN

Lidstone & Company
 Per:



Sara Dubinsky

GST Registration No. 85104 8462 RT0001

E. & O.E.

VANCOUVER OFFICE:
 #1300 - SUN TOWER - 128 PENDER STREET WEST
 VANCOUVER, BC V6B 1R8

CALGARY OFFICE:
 BOW VALLEY SQUARE 2, #3300 - 205 5TH AVENUE, SW
 CALGARY, AB T2P 2V7

TOLL FREE 1.877.339.2199 - TELEPHONE 604.899.2269 - FACSIMILE 604.899.2281

File No: 2240-20-100

Date: May 21, 2024

To: Mayor and Council
From: Christy Ovens, Community Services Manager
Subject: Accessible Playground and Shade Features – Contract Award

RECOMMENDATION

THAT the Community Services Manager's report dated May 21st, 2024 regarding the Accessible Playground and Shade Features contract award to Habitat Systems be received for information.

SUMMARY

To provide an update to Council regarding the construction of the Accessible Playground and Shade Features at the beachfront.

BACKGROUND

The Accessible Playground and Shade Features project is from the Village's 2022/23 – 2024/25 Resort Development Strategy (RDS) utilizing Resort Municipality Initiative (RMI) funding.

Over the past several years, the Village has been focusing on increasing accessible tourism with projects including the installation of mobi-mats for water access, the construction of an accessible viewing platform, and the installation of accessible picnic tables. To further promote inclusive play, an accessible playground will be installed at the beachfront. In response to climate change and the need for relief from the heat, shade features will also be installed.

The existing 5-12 year old playground will be removed and replaced with new playground equipment. Rubber surfacing will be installed while still including a portion of the playground to have sand to support site maintenance by Village staff. A shade feature will be added above the existing tots beach playground to provide shade until this playground equipment reaches the end of its lifespan. At that time, staff will determine if any further play equipment is required or determine a usage for this covered space. Swings, including a molded bucket swing will be added to the existing grass area beside the tot playground with plans to add rubber surfacing at this location if future funding permits.

A goal of this RDS project is to enhance visitor experience and satisfaction by improving the quality and quantity of tourism amenities and tourism related infrastructure. It also aims to increase the number of accessible / barrier free amenities by adding on to existing amenities and installing at least one new amenity.

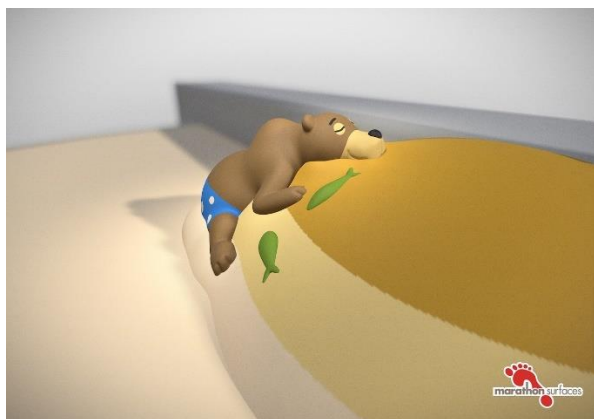
DISCUSSION

The Village engaged in a competitive tender process and issued a Request for Proposals (RFP) on February 1st, 2024. The Village received eight (8) proposals by the closing date of February 28th, 2024 and completed an evaluation based on financial, corporate and technical criteria. As outlined in the Village’s Purchasing and Procurement Policy No. 1.08, given that this project was included in the approved Financial Plan, staff has awarded the contract to Habitat Systems. Project. Work is set to commence in mid-September 2024.

Below are images to highlight a few of the inclusive play features of this project, a communication board and fully wheelchair accessible we-go-round.



Along with the inclusion of accessible rubber surfacing, the proposal called for a number of 3D characters. Drawings are still being finalized but some preliminary examples can be seen below.



The bear will provide a climbing opportunity, as a roller sensory slide and will be located at the top of the “hill”, also accessible via the existing pathway



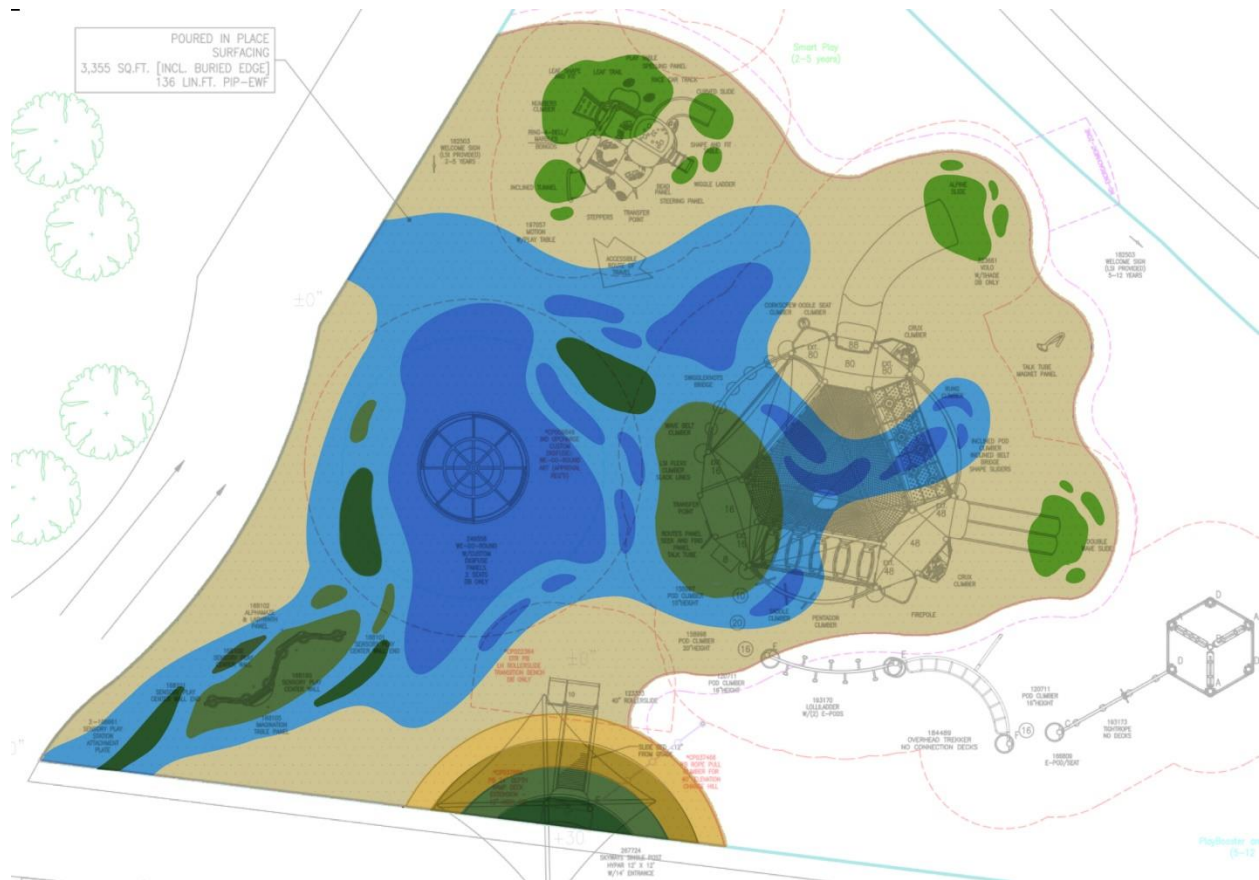
Salmon and sturgeon are planned to be incorporated into the blue (water) areas of the rubber surfacing



Reminiscent of the sandcastle competitions that used to be held in the Village, rubber surfacing will be utilized to create a 3D sandcastle in the area of the playground that will have sand. The goal is that children will utilize this space and gain inspiration from this 3D castle to build their own creations alongside it.



Overall concept drawing of the playground and shade structures is shown above for reference.



Overall concept drawing of the rubber surfacing designs.

FINANCIAL CONSIDERATIONS

The RFP submitted by Habitat Systems quotes the project at a total cost of up to \$700,000. Funding for this project will come from the Resort Municipality Initiative.

POLICY CONSIDERATIONS

2023 Strategic Plan Priorities

Healthy Livable Community – To promote and enhance a healthy lifestyle for all ages.

Respectfully submitted:

Christy Owens
Community Services Manager

Reviewed by:

Tyson Koch
Chief Administrative Officer

Financial Considerations Reviewed by:

A handwritten signature in black ink, appearing to read 'S. Schultz', written over a horizontal line.

Scott Schultz
Chief Financial Officer, Deputy CAO

File No: 3020-01
Date: May 21, 2024

To: Mayor and Council
From: Ken Cossey, Planning Consultant
Subject: Harrison Watersports Crown Land Tenure Application

RECOMMENDATION

That Council reject the proposed new location for the Harrison Watersports’ commercial moorage.

SUMMARY

Harrison Watersports made a crown land tenure application to the province to allow the operators to relocate their tourism operation moorage (docks) from one site to another. Please note that the current floating waterpark location will not be changing.

BACKGROUND

Harrison Watersports’ commercial moorage has been operating in conjunction with Harrison Watersports’ floating inflatable fun park, on a seasonal basis, for several years. This business arrangement is no longer satisfactory for the moorage operators, so they have selected a new site to operate from. The proposed site is identified below. As the site is located on the lake, the proponents have made a crown land tenure application.



The proposed site is approximately 0.304 Ha (0.75 Ac or 3,040 M²) in size and located on the outer west side of the lagoon. Public amenities in the area include the Village’s public shelter, public washrooms, the berm trail, a swimming area, and the workout area. The proposed site is also approximately 120 M east of the municipal seaplane dock.



DEVELOPMENT PROPOSAL

Harrison Watersports' commercial moorage proposed new facility will still function as the loading and unloading point for the floating park area. In addition to this function, the site will also house a ticketing office, change rooms, storage huts and boxes, the rental of 10 sea-doo's, and the rental of bumper boats. The site will include a collection of aluminum frame walkways, and either timber frame or steel frame floats. The proponent has determined that the safest way to conduct business will be to have their clients moving around the facility in either a clockwise or counterclockwise direction.

The proponents are proposing an underground electrical system and will need to set this up with BC Hydro. The proponents are not looking to connect to the Village's water or sewer systems. From a fire safety perspective, an unknown quantity of fire extinguishers will be placed throughout the moorage facility.

DISCUSSION

Although the Village has not, at the date that this report was written, officially received a crown land referral, Council required staff to look at the project and report back to Council. Since this earlier Council directive, staff have been working with the owner's agent on a review of the proposed development materials submitted. Several concerns were raised at the staff level and shared with the applicant's agent, as outlined below.

Concerns

The selected site is proposed to be against the berm created many years ago that goes around the lagoon and as such, heavy equipment should not travel across the berm. The heavy equipment may either collapse or damage any portion of the berm. Additionally, the site is

immediately adjacent to a public swimming area, creating a high likelihood of conflicts between jet ski operators and swimmers as the jet skiers move in and out of the proposed docking area. Finally, the site is directly opposite the Village's water intake pipe. Staff is concerned that the intake pipe could be damaged if the proposed docking facility breaks free. The latter concern was raised when the proposal was discussed with the Utilities Department.

FINANCIAL CONSIDERATIONS

There are no financial considerations associated with this report.

POLICY CONSIDERATIONS

Not applicable.

Respectfully submitted:

Reviewed by:

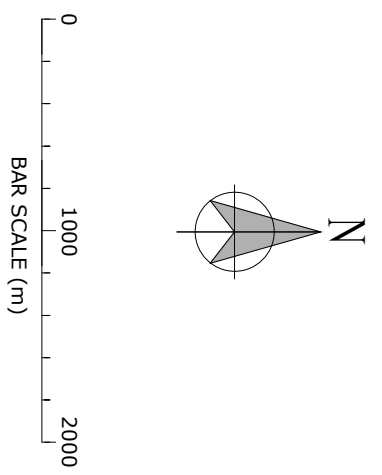
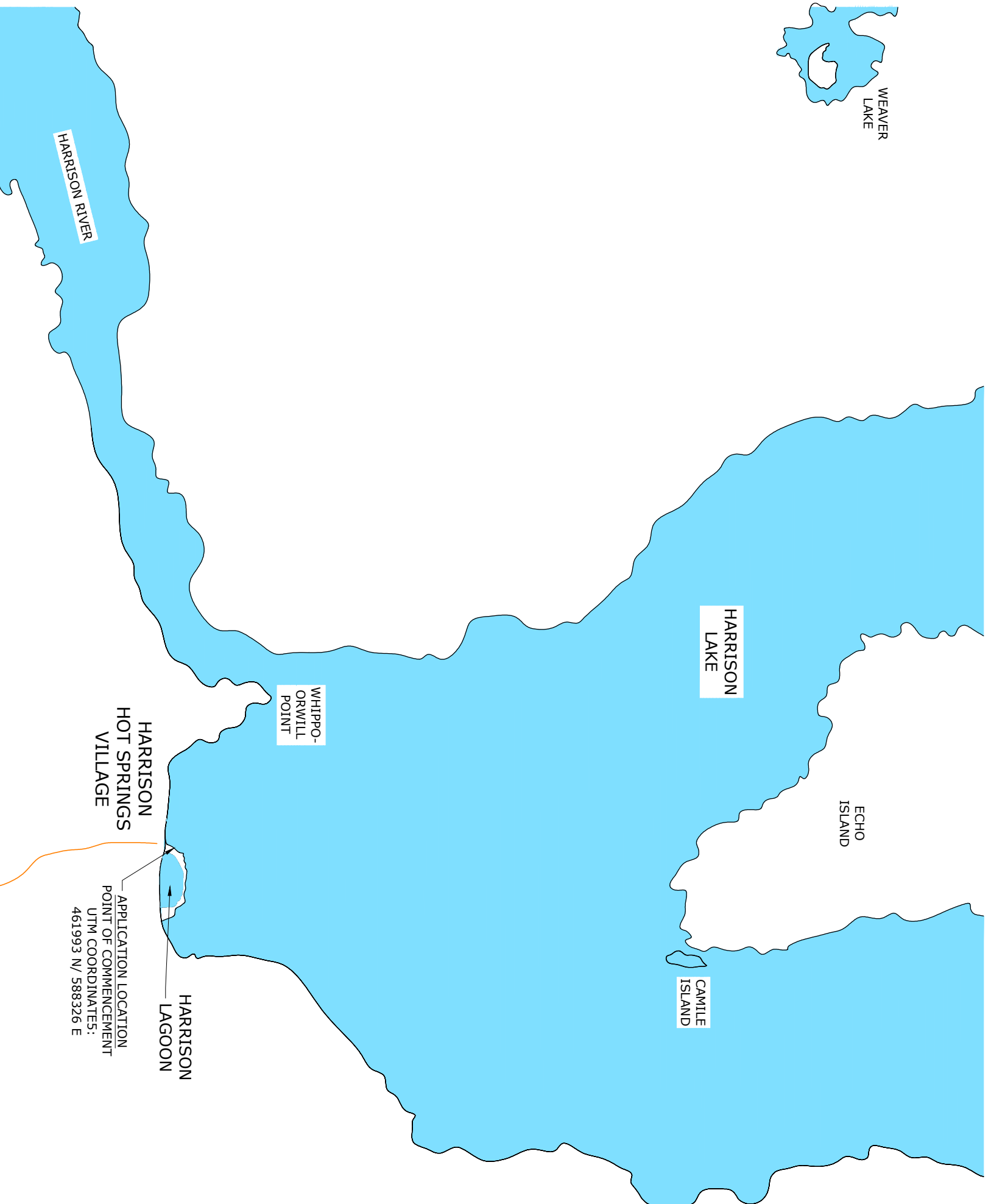


Ken Cossey, MCIP, RPP
Planning Consultant



Tyson Koch
Chief Administrative Officer

Attachment: All Tides Consulting & Design – crown land tenure application maps (12)



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Client: **HARRISON WATERSPORTS**

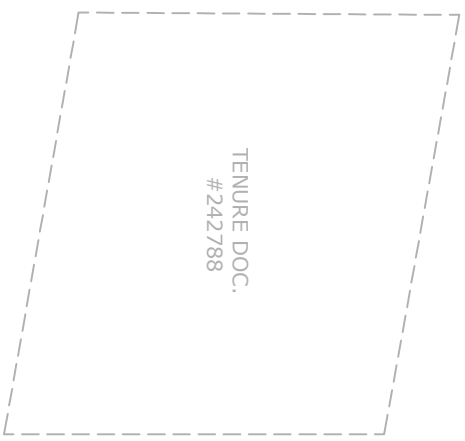
Drawing Title: **CROWN LAND TENURE APPLICATION LOCATION MAP**

Location: **HARRISON VILLAGE, B.C.**

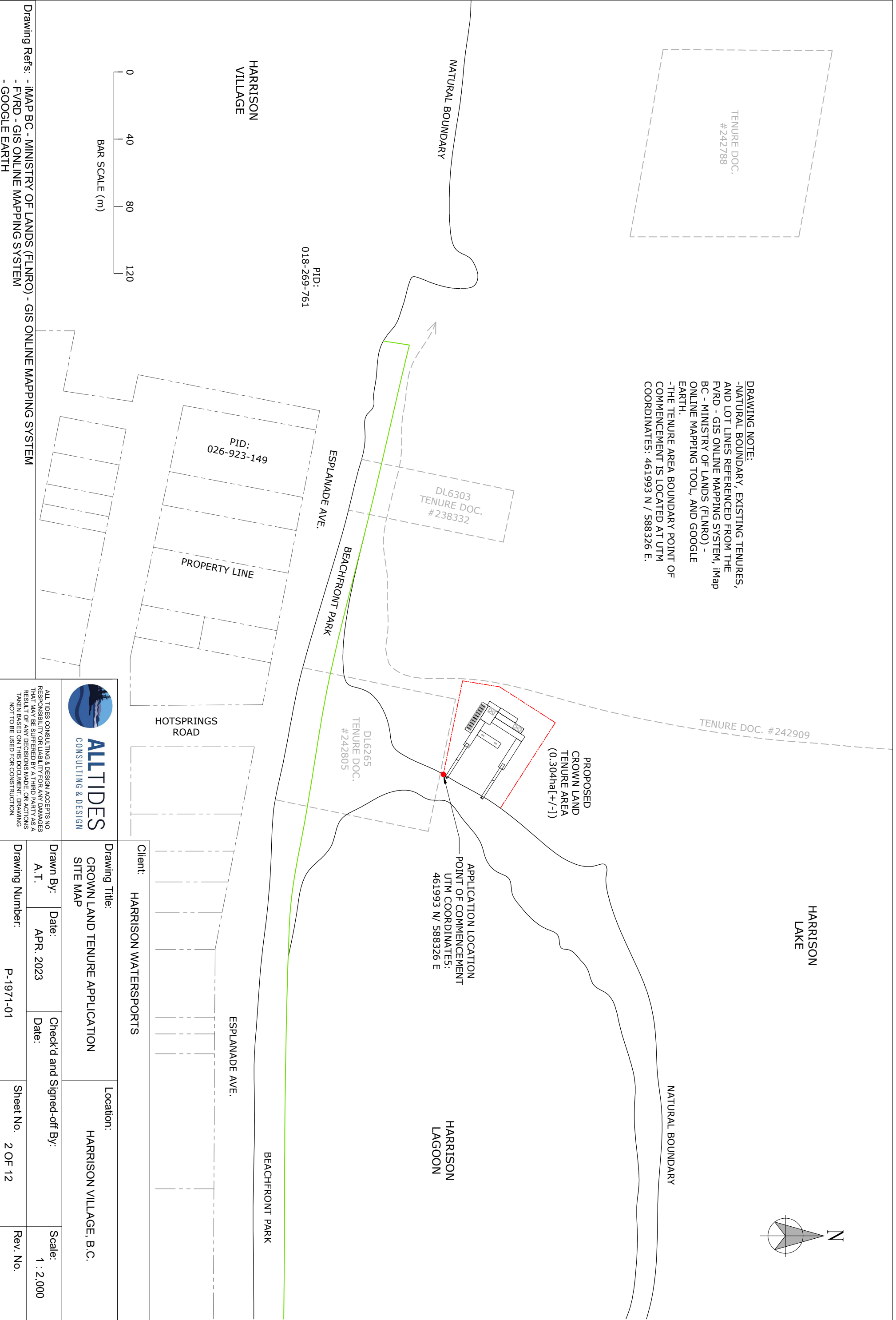
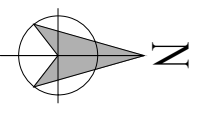
Drawn By: **A. T.** Date: **APR. 2023** Check'd and Signed-off By:

Drawing Number: **P-1971-01** Sheet No. **1 OF 12** Scale: **1 : 35,000**

Drawing Refs: - IMAP BC - MINISTRY OF LANDS (FLNRO) - GIS ONLINE MAPPING SYSTEM
 - FVRD - GIS ONLINE MAPPING SYSTEM
 - GOOGLE EARTH



DRAWING NOTE:
 -NATURAL BOUNDARY, EXISTING TENURES, AND LOT LINES REFERENCED FROM THE FVRD - GIS ONLINE MAPPING SYSTEM, iMap BC - MINISTRY OF LANDS (FLNRO) - ONLINE MAPPING TOOL, AND GOOGLE EARTH.
 -THE TENURE AREA BOUNDARY POINT OF COMMENCEMENT IS LOCATED AT UTM COORDINATES: 461993 N / 588326 E.



Drawing Ref's: - iMAP BC - MINISTRY OF LANDS (FLNRO) - GIS ONLINE MAPPING SYSTEM
 - FVRD - GIS ONLINE MAPPING SYSTEM
 - GOOGLE EARTH

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Client: HARRISON WATERSPORTS		Location: HARRISON VILLAGE, B.C.	
Drawing Title: CROWN LAND TENURE APPLICATION SITE MAP			
Drawn By: A.T.	Date: APR. 2023	Check'd and Signed-off By:	Scale: 1 : 2,000
Drawing Number: P-1971-01		Sheet No. 2 OF 12	Rev. No.

EXISTING LOCATION
OF HARRISON
WATERSPORTS FLOATING
PLAYGROUND

EXISTING LOCATION
OF HARRISON
WATERSPORTS MOORAGE

HARRISON
HOTSPPRINGS
RESORT MOORAGE
& TENURE LOCATION

MUNICIPAL
GOVERNMENT
MOORAGE

TENURE DOC. #242909

PROPOSED NEW LOCATION FOR
HARRISON WATERSPORTS
MOORAGE AND NEWLY PROPOSED
CROWN LAND TENURE AREA
(0.304ha[+/-])

HARRISON
LAKE

TENURE APPLICATION LOCATION
POINT OF COMMENCEMENT
UTM COORDINATES:
461993 N / 588326 E

D16265
TENURE DOC.
#242805

HARRISON
LAGOON



Drawing Ref's: - IMAP BC - MINISTRY OF LANDS (FLNRO) - GIS ONLINE MAPPING SYSTEM
- FVRD - GIS ONLINE MAPPING SYSTEM
- GOOGLE EARTH



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Client: HARRISON WATERSPORTS		Location: HARRISON VILLAGE, B.C.	
Drawing Title: CROWN LAND TENURE APPLICATION SITE MAP OVERLAY			
Drawn By: A.T.	Date: APR. 2023	Check'd and Signed-off By:	Scale: 1 : 2,000
Drawing Number: P-1971-01		Sheet No. 3 OF 12	Rev. No.



HARRISON LAKE

HARRISON LAGOON



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Client: HARRISON WATERSPORTS

Drawing Title:

CROWN LAND TENURE APPLICATION
SITE MAP OVERLAY #2

Location:

HARRISON VILLAGE, B.C.

Drawn By:

A. T.

Date:

APR. 2023

Check'd and Signed-off By:

Date:

Drawing Number:

P-1971-01

Sheet No.

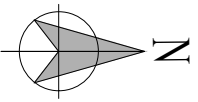
4 OF 12

Scale:

1 : 2,000

Rev. No.

Drawing Ref's: - IMAP BC - MINISTRY OF LANDS (FLNRO) - GIS ONLINE MAPPING SYSTEM
- FVRD - GIS ONLINE MAPPING SYSTEM
- GOOGLE EARTH



HARRISON LAKE

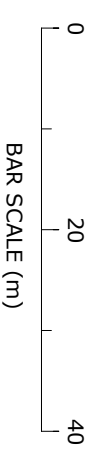
DRAWING NOTE:
 -NATURAL BOUNDARY, EXISTING TENURES, AND LOT LINES REFERENCED FROM THE FVRD - GIS ONLINE MAPPING SYSTEM, (MAP BC - MINISTRY OF LANDS (FLNRO) - ONLINE MAPPING TOOL, AND GOOGLE EARTH.
 -THE TENURE AREA BOUNDARY POINT OF COMMENCEMENT IS LOCATED AT UTM COORDINATES: 461993 N / 588326 E.
 -ALL DEPTHS ARE IN METERS REDUCED TO CHART DATUM.
 -SECTIONS A-A AND B-B FOUND ON SHEET 7 OF 12.
 -SYSTEM FLOAT AND WALKWAY COMPONENT LAYOUT AND NOTES FOUND ON SHEETS 8 OF 12 & 9 OF 12.

TENURE DOC. #242909

PROPOSED CROWN LAND TENURE AREA (0.304ha [+/-])

APPLICATION LOCATION POINT OF COMMENCEMENT UTM COORDINATES: 461993 N / 588326 E

HARRISON LAGOON



ESPLANADE AVE.

BEACHFRONT PARK

NATURAL BOUNDARY

NATURAL BOUNDARY

Drawing Ref's: - IMAP BC - MINISTRY OF LANDS (FLNRO) - GIS ONLINE MAPPING SYSTEM
 - FVRD - GIS ONLINE MAPPING SYSTEM
 - GOOGLE EARTH



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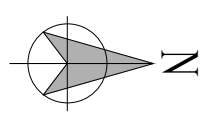
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Client: HARRISON WATERSPORTS

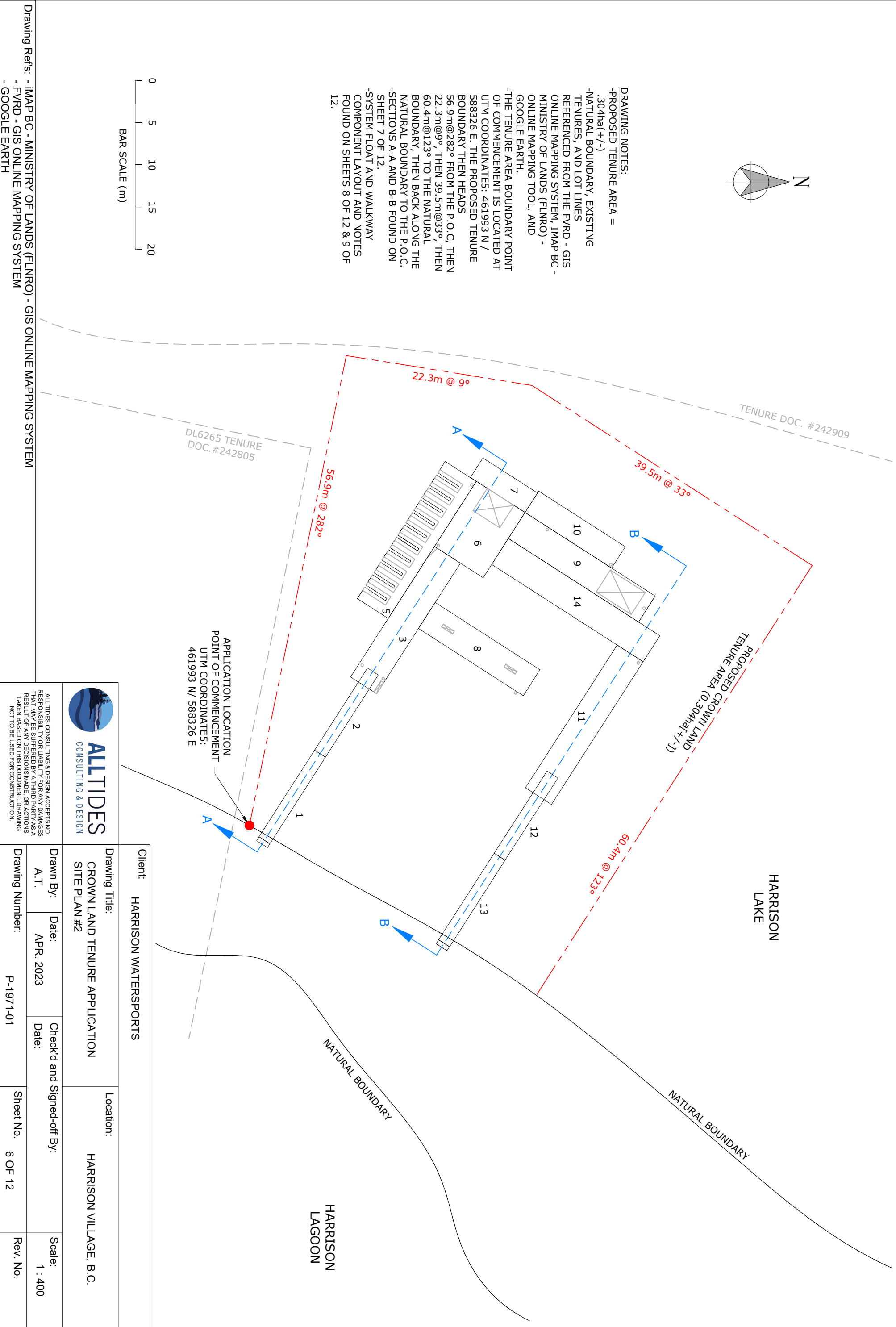
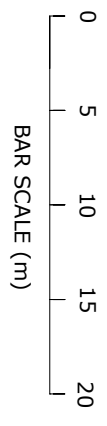
Drawing Title: CROWN LAND TENURE APPLICATION SITE PLAN

Location: HARRISON VILLAGE, B.C.

Drawn By: A.T.	Date: APR. 2023	Check'd and Signed-off By:	Date:	Scale: 1 : 750
Drawing Number: P-1971-01		Sheet No. 5 OF 12		Rev. No.



- DRAWING NOTES:**
- PROPOSED TENURE AREA = .304ha(+/-)
 - NATURAL BOUNDARY, EXISTING TENURES, AND LOT LINES REFERENCED FROM THE FVRD - GIS ONLINE MAPPING SYSTEM, IMAP BC - MINISTRY OF LANDS (FLNRO) - ONLINE MAPPING TOOL, AND GOOGLE EARTH.
 - THE TENURE AREA BOUNDARY POINT OF COMMENCEMENT IS LOCATED AT UTM COORDINATES: 461993 N / 588326 E. THE PROPOSED TENURE BOUNDARY THEN HEADS 56.9m@282° FROM THE P.O.C, THEN 22.3m@9°, THEN 39.5m@33°, THEN 60.4m@123° TO THE NATURAL BOUNDARY, THEN BACK ALONG THE NATURAL BOUNDARY TO THE P.O.C.
 - SECTIONS A-A AND B-B FOUND ON SHEET 7 OF 12.
 - SYSTEM FLOAT AND WALKWAY COMPONENT LAYOUT AND NOTES FOUND ON SHEETS 8 OF 12 & 9 OF 12.

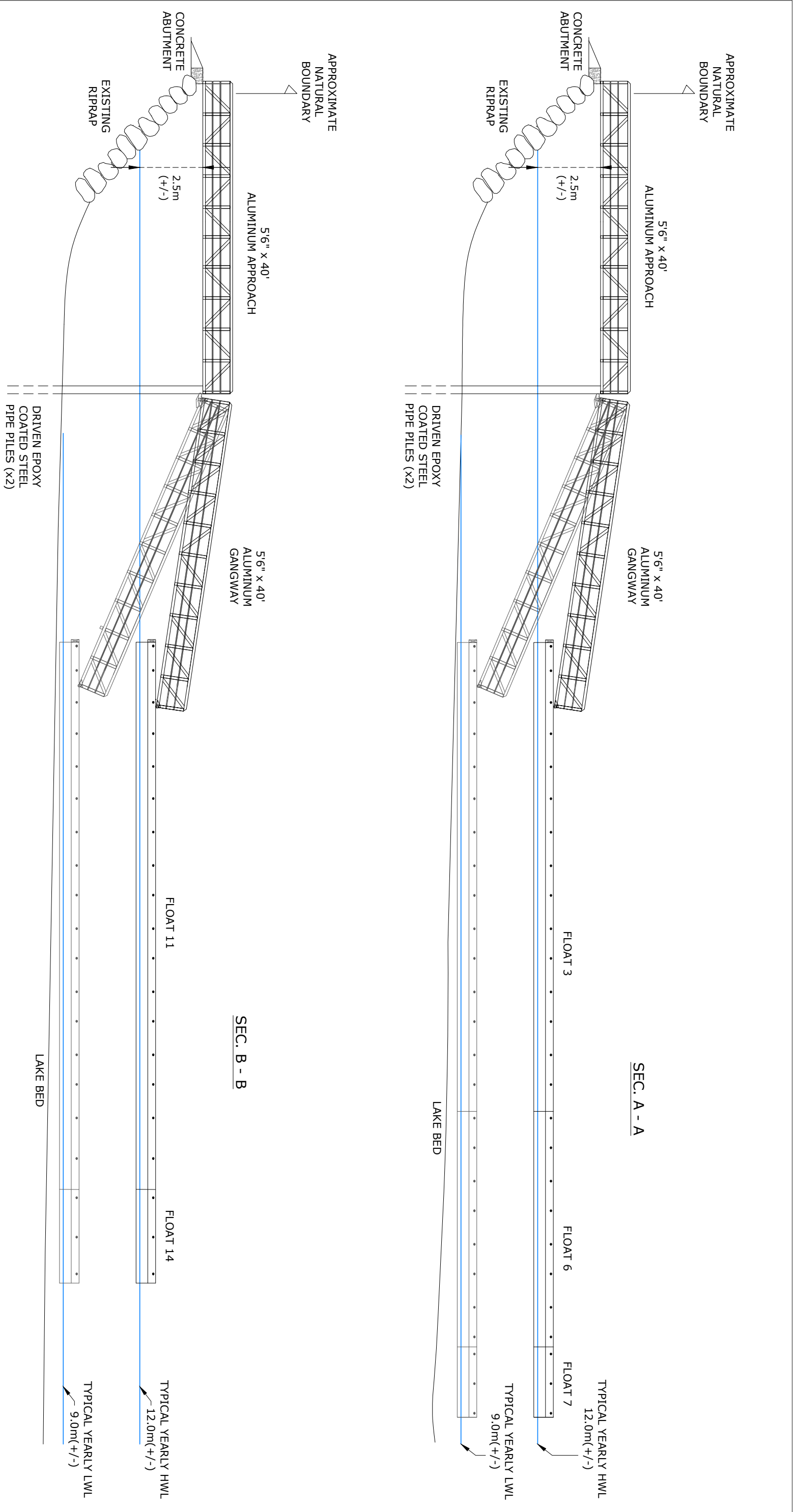


Drawing Ref's: - IMAP BC - MINISTRY OF LANDS (FLNRO) - GIS ONLINE MAPPING SYSTEM
 - FVRD - GIS ONLINE MAPPING SYSTEM
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Client: HARRISON WATERSPORTS		Location: HARRISON VILLAGE, B.C.	
Drawing Title: CROWN LAND TENURE APPLICATION SITE PLAN #2			
Drawn By: A.T.	Date: APR. 2023	Check'd and Signed-off By:	Scale: 1 : 400
Drawing Number: P-1971-01		Sheet No. 6 OF 12	Rev. No.



Client: HARRISON WATERSPORTS

Drawing Title: CROWN LAND TENURE APPLICATION ELEVATION / SECTIONS - PLAN D

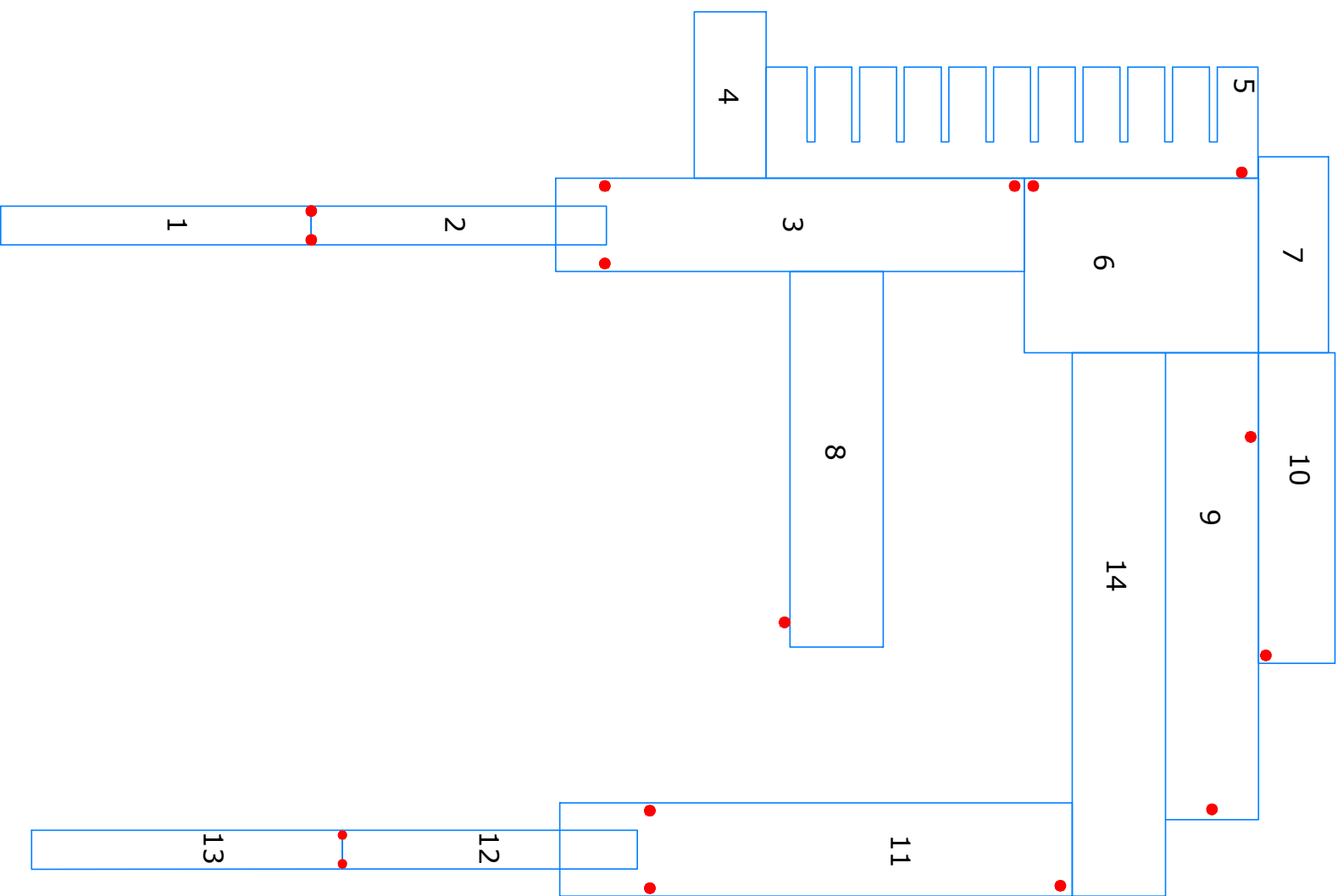
Location: HARRISON VILLAGE, B.C.

Drawn By: A.T. **Date:** APR. 2023 **Checked and Signed-off By:** **Scale:** 1 : 150

Drawing Number: P-1971-01 **Sheet No.:** 7 OF 12 **Rev. No.:**

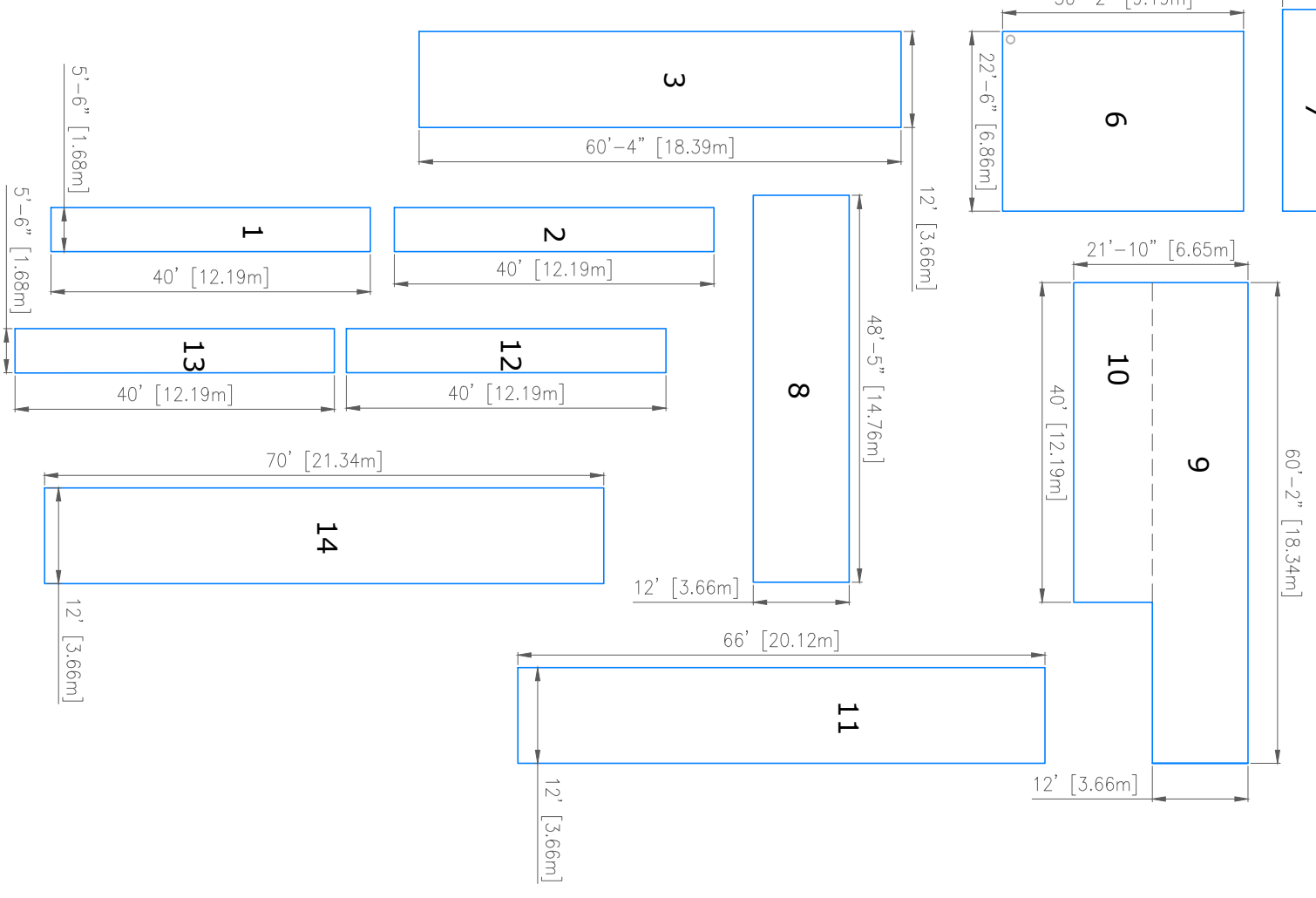
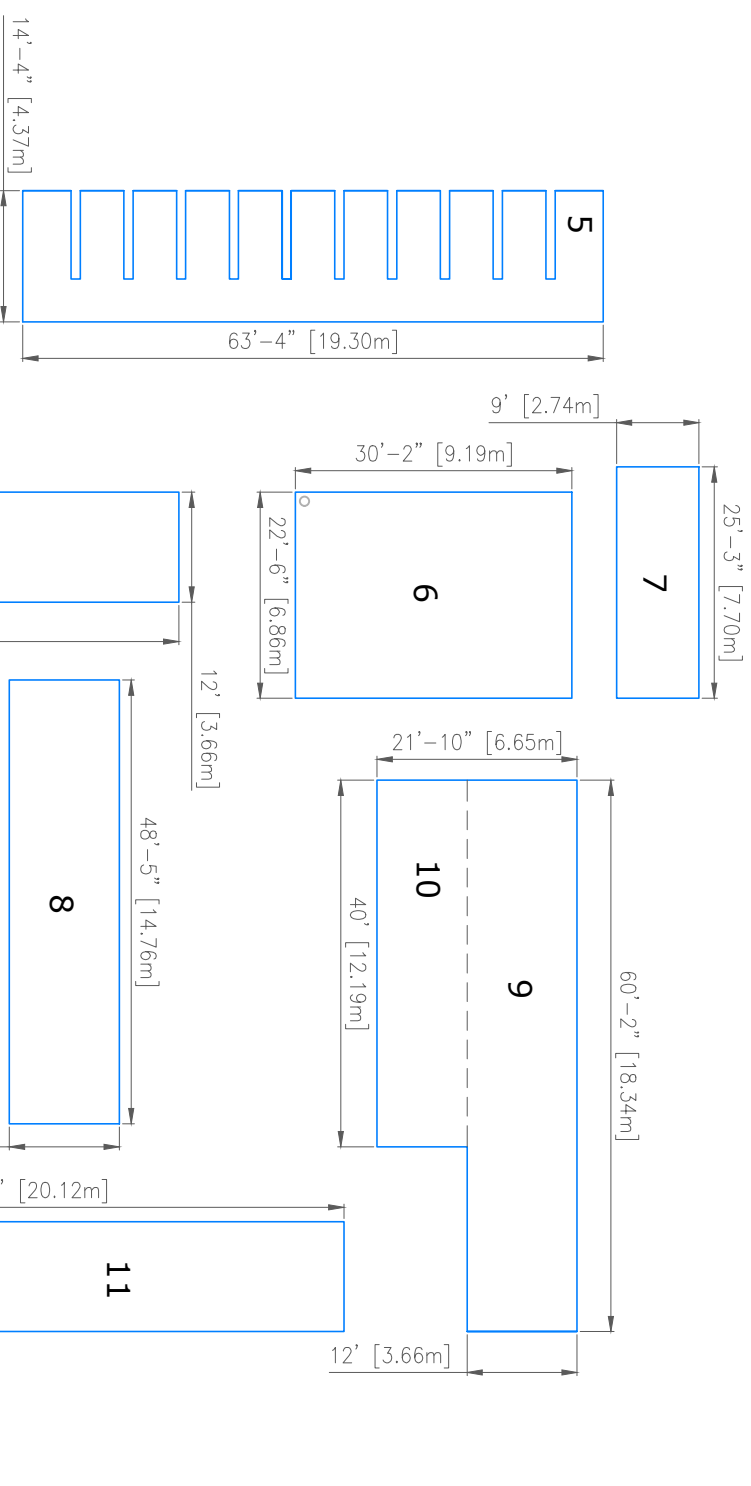
Drawing Refs: - IMAP BC - MINISTRY OF LANDS (FLNRO) - GIS ONLINE MAPPING SYSTEM
 - FVRD - GIS ONLINE MAPPING SYSTEM
 - GOOGLE EARTH

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DRAWING NOTES:
 -CORRESPONDING SYSTEM FLOAT AND WALKWAY COMPONENT NOTES ON SHEET 9 of 12.
 -PLANNED DRIVEN 10'-12" STEEL PIPE ANCHOR AND BEARING PILE LOCATIONS IN RED.

Drawing Refs: - IMAP BC - MINISTRY OF LANDS (FLNRO) - GIS ONLINE MAPPING SYSTEM
 - FVRD - GIS ONLINE MAPPING SYSTEM
 - GOOGLE EARTH



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Client: HARRISON WATERSPORTS		Location: HARRISON VILLAGE, B.C.	
Drawing Title: CROWN LAND TENURE APPLICATION MOORAGE SYSTEM COMPONENTS			
Drawn By: A.T.	Date: APR. 2023	Check'd and Signed-off By:	Scale: N/A
Drawing Number: P-1971-01		Sheet No. 8 OF 12	Rev. No.

SYSTEM FLOAT AND WALKWAY COMPONENT NOTES:

- #1 (PLANNED)
 - 5'6" X 40' ALUMINUM FRAME APPROACH WALKWAY
 - METAL GRATE OR COMPOSITE LIGHT PENETRATING DECKING UTILIZED. (I.E., THRUFLOW@ OR MICRO-MESH@)
- #2 (PLANNED)
 - 5'6" X 40' ALUMINUM FRAME GANGWAY WALKWAY
 - METAL GRATE OR COMPOSITE LIGHT PENETRATING DECKING UTILIZED. (I.E., THRUFLOW@ OR MICRO-MESH@)
- #3 (EXISTING)
 - 12' X 60'4" TIMBER FRAME FLOAT
 - 2" X 6" PAINTED TIMBER DECKING
 - EPOXY COATED STEEL PIPE FLOATATION
 - TWO EPOXY COATED STEEL PIPE ANCHOR PILES
 - ONE STORAGE BOX
- #4 (TO BE REMOVED)
- #5 (EXISTING)
 - 14'4" X 63'4" TIMBER FRAME FLOAT
 - 2" X 6" PAINTED TIMBER DECKING
 - CLOSED CELL STYROFOAM FLOATATION
 - ONE EPOXY COATED STEEL PIPE ANCHOR PILE
 - ONE TENT ENCOMPASSING THE FLOAT FOOTPRINT
 - TEN JET SKI LIFT UNITS
- #6 (EXISTING)
 - 22'6" X 30'2" STEEL FRAME FLOAT
 - 2" X 6" PAINTED TIMBER DECKING
 - STEEL PIPE FLOATATION WITH ADDITIONAL PLASTIC FLOTATION TANKS
 - ONE EPOXY COATED STEEL PIPE ANCHOR PILE
 - ONE TICKET OFFICE STRUCTURE (10'4" X 12'4")
- #7 (EXISTING)
 - 9' X 25'3" TIMBER FRAME FLOAT
 - 2" X 6" PAINTED TIMBER DECKING
 - STEEL PIPE FLOATATION
- #8 (EXISTING)
 - 12' X 48'5" TIMBER FRAME FLOAT
 - 2" X 6" PAINTED TIMBER DECKING
 - EPOXY COATED STEEL PIPE FLOATATION
 - TREATED TIMBER ANCHOR PILE (X1)
 - TWO STORAGE BOXES
- #9 (EXISTING)
 - 12'X 60'2" STEEL FRAME FLOAT
 - 2" X 6" PAINTED TIMBER DECKING
 - EPOXY COATED STEEL PIPE FLOATATION
 - TWO EPOXY COATED STEEL PIPE ANCHOR PILES
 - ONE STORAGE SHED STRUCTURE (10'4" X 12'4")
- #10 (EXISTING)
 - 9'10" X 40' STEEL FRAME FLOAT
 - 2" X 6" PAINTED TIMBER DECKING
 - EPOXY COATED STEEL PIPE FLOATATION
 - ONE EPOXY COATED STEEL PIPE ANCHOR PILES
 - ONE CHANGE ROOM STRUCTURE (4'3" X 14'2")
- #11 (PLANNED)
 - 12'X 66' STEEL FRAME FLOAT
 - 2" X 6" PAINTED TIMBER DECKING
 - EPOXY COATED STEEL PIPE FLOATATION
 - THREE EPOXY COATED STEEL PIPE ANCHOR PILES
- #12 (PLANNED)
 - 5'6" X 40' ALUMINUM FRAME GANGWAY WALKWAY
 - METAL GRATE OR COMPOSITE LIGHT PENETRATING DECKING UTILIZED. (I.E., THRUFLOW@ OR MICRO-MESH@)
- #13 (PLANNED)
 - 5'6" X 40' ALUMINUM FRAME APPROACH WALKWAY
 - METAL GRATE OR COMPOSITE LIGHT PENETRATING DECKING UTILIZED. (I.E., THRUFLOW@ OR MICRO-MESH@)
- #14 (PLANNED)
 - 12'X 70' STEEL FRAME FLOAT
 - 2" X 6" PAINTED TIMBER DECKING
 - EPOXY COATED STEEL PIPE FLOATATION

NOTE: THE EPOXY COATING ON THE SYSTEM'S STEEL ANCHOR PILES IS WEARING BUT STILL PRESENT.

<p>Client: HARRISON WATERSPORTS</p>		<p>Location: HARRISON VILLAGE, B.C.</p>	
<p>Drawing Title: CROWN LAND TENURE APPLICATION COMPONENT NOTES</p>			
<p>Drawn By: A. T.</p>	<p>Date: APR. 2023</p>	<p>Check'd and Signed-off By:</p>	<p>Scale: N/A</p>
<p>Drawing Number: P-1971-01</p>	<p>Sheet No. 9 OF 12</p>	<p>Rev. No.</p>	



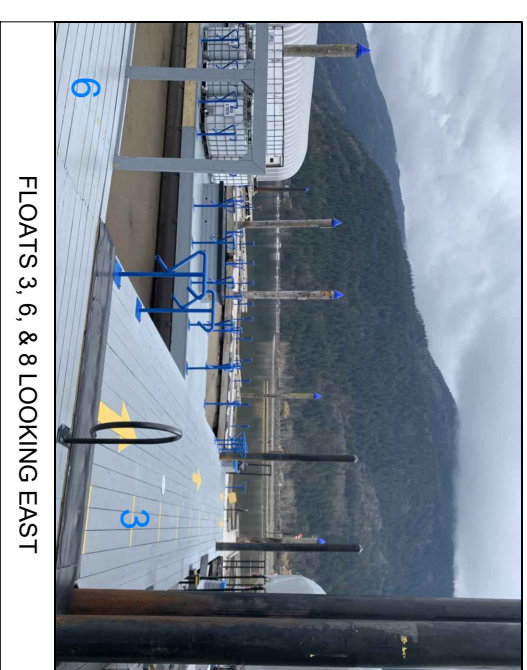
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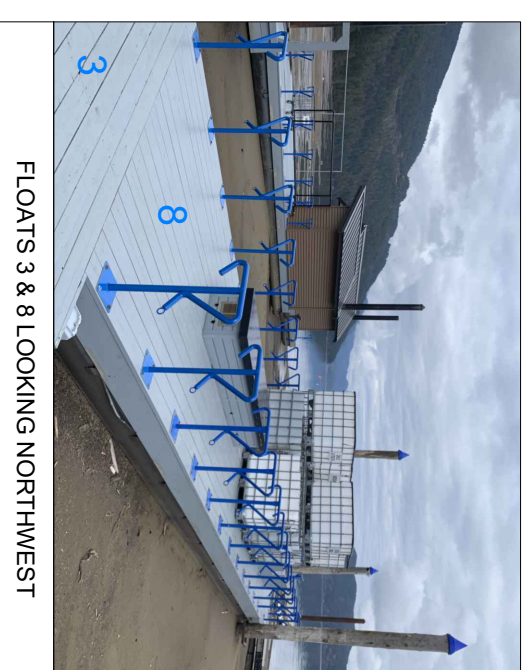
Drawing Ref's: - IMAP BC - MINISTRY OF LANDS (FLNRO) - GIS ONLINE MAPPING SYSTEM
 - FVRD - GIS ONLINE MAPPING SYSTEM
 - GOOGLE EARTH



EXISTING MARINA SYSTEM FLOAT NUMBERING AND LAYOUT



FLOATS 3, 6, & 8 LOOKING EAST



FLOATS 3 & 8 LOOKING NORTHWEST

NOTE: -FLOAT "N/A" TO BE REMOVED.
 -FLOAT "4" TO BE REMOVED

Client: HARRISON WATERSPORTS

Drawing Title:
 CROWN LAND TENURE APPLICATION
 PHOTO PAGE #1

Location:
 HARRISON VILLAGE, B.C.



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Drawing Ref's: - IMAP BC - MINISTRY OF LANDS (FLNRO) - GIS ONLINE MAPPING SYSTEM
 - FVRD - GIS ONLINE MAPPING SYSTEM
 - GOOGLE EARTH

Drawn By: A. T.	Date: APR. 2023	Check'd and Signed-off By: Date:	Scale: N/A
Drawing Number: P-1971-01	Sheet No. 10 OF 12	Rev. No.	



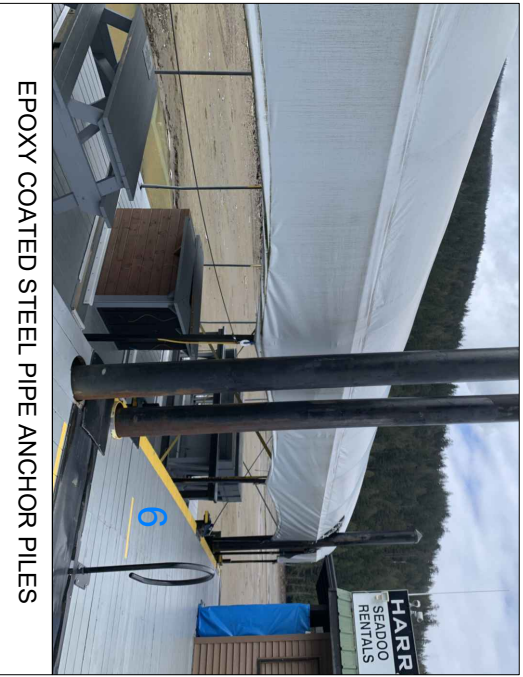
FLOAT 3 LOOKING WEST



FLOATS 3 & 4 LOOKING WEST



FLOATS 5 & 7 LOOKING SOUTHEAST




EPOXY COATED STEEL PIPE ANCHOR PILES

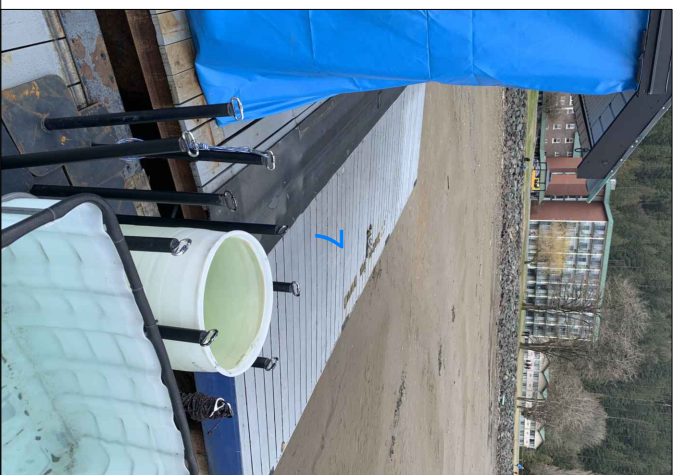


FLOAT 7 LOOKING NORTH / BACK OF TICKET OFFICE

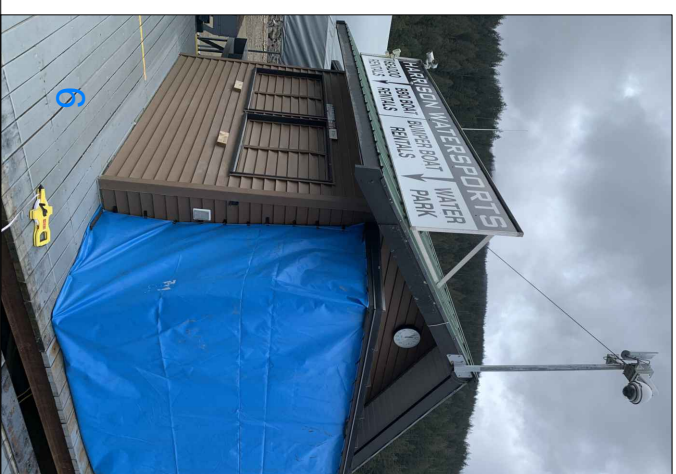


JET SKI LIFTS MOORAGE ON FLOAT 5

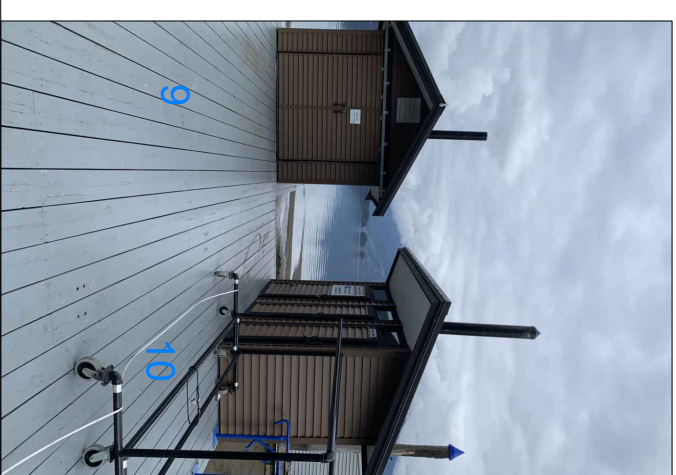
<p>Drawing Ref's: - IMAP BC - MINISTRY OF LANDS (FLNRO) - GIS ONLINE MAPPING SYSTEM - FVRD - GIS ONLINE MAPPING SYSTEM - GOOGLE EARTH</p>		 <p>ALLTIDES CONSULTING & DESIGN</p>		<p>ALL TIDES CONSULTING & DESIGN ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR ANY DAMAGES THAT MAY BE SUFFERED BY A THIRD PARTY AS A RESULT OF ANY DECISIONS MADE, OR ACTIONS TAKEN BASED ON THIS DOCUMENT. DRAWING NOT TO BE USED FOR CONSTRUCTION.</p>	
<p>Client: HARRISON WATERSPORTS</p>		<p>Drawing Title: CROWN LAND TENURE APPLICATION PHOTO PAGE #2</p>		<p>Location: HARRISON VILLAGE, B.C.</p>	
<p>Drawn By: A. T.</p>	<p>Date: APR. 2023</p>	<p>Checked and Signed-off By:</p>	<p>Date:</p>	<p>Scale: N/A</p>	
<p>Drawing Number: P-1971-01</p>		<p>Sheet No. 11 OF 12</p>		<p>Rev. No.</p>	



FLOAT 7 LOOKING SOUTHWEST



FLOAT 6 / TICKET OFFICE



FLOATS 9 & 10 (TO BE SPLIT)



FLOAT 8 LOOKING SOUTHWEST



HARRISON WATERSPORTS MOORAGE LOOKING NORTH



FLOAT 6 LOOKING WEST

Drawing Ref's: - IMAP BC - MINISTRY OF LANDS (FLNRO) - GIS ONLINE MAPPING SYSTEM - FVRD - GIS ONLINE MAPPING SYSTEM - GOOGLE EARTH		ALL TIDES CONSULTING & DESIGN ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR ANY DAMAGES THAT MAY BE SUFFERED BY A THIRD PARTY AS A RESULT OF ANY DECISIONS MADE, OR ACTIONS TAKEN BASED ON THIS DOCUMENT. DRAWING NOT TO BE USED FOR CONSTRUCTION.	
Client: HARRISON WATERSPORTS		Location: HARRISON VILLAGE, B.C.	
Drawing Title: CROWN LAND TENURE APPLICATION PHOTO PAGE #3		Location: HARRISON VILLAGE, B.C.	
Drawn By: A. T.	Date: APR. 2023	Check'd and Signed-off By:	Scale: N/A
Drawing Number: P-1971-01	Sheet No. 12 OF 12	Rev. No.	Scale: N/A



File No: 3060-20-DP05/23
Date: May 21, 2024

To: Mayor and Council
From: Ken Cossey, Planning Consultant
Subject: Development Permit – 318 Hot Springs Road

RECOMMENDATION

THAT Development Permit DP 05/23 be issued to 1044018 BC Limited for property located at 318 Hot Springs Road, Harrison Hot Springs for land legally described as:

Lot E (AE36501) Sec 13, Twp 4, Rg 29, W6M, New Westminster District Plan 251

subject to the Village receiving an Irrevocable Letter of Credit in the amount of \$7,613.00.

SUMMARY

To present a draft Development Permit for Council's consideration with respect to the demolition of a cottage on the property located at 318 Hot Springs Road.

BACKGROUND

Late last year, Village staff, along with FVRD Building Inspection and Bylaw Enforcement staff met with the owners 318 Hot Springs Road. It had come to the Village's and FVRD's attention that the applicant had constructed a cottage on the site without the benefit of either a Building or Development Permit.

Parcel Size, and adjacent uses

This site is approximately 0.167 Ha (0.412 Ac, 1670.8 M², or 17,985 ft²) in size, is currently developed and is accessible from Hot Springs Road.



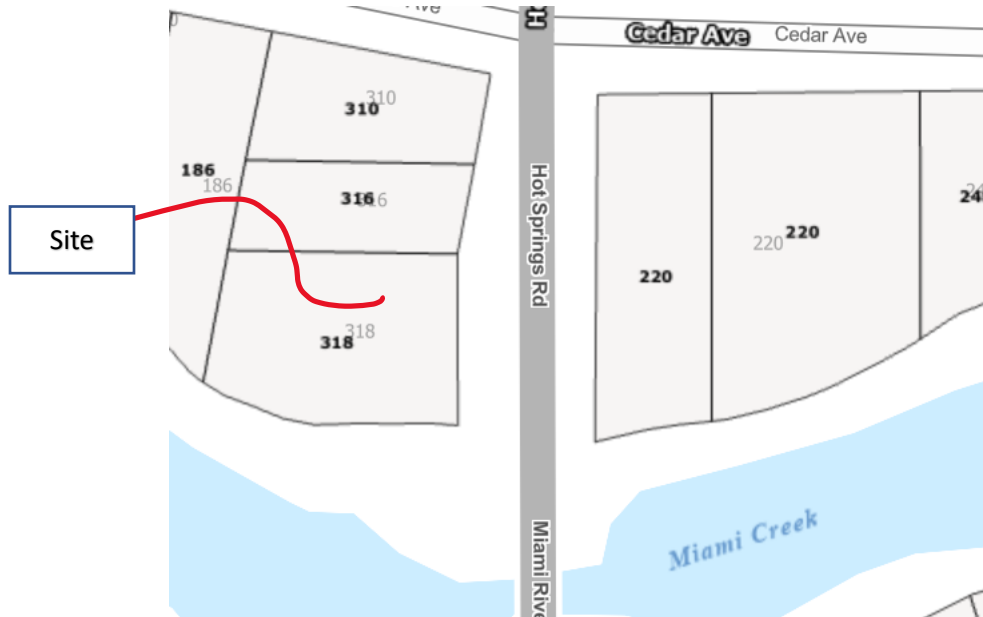
318 Hot Springs Road



The site is zoned for C-1 activities and is surrounded to the north, west and east by other C-1 properties. The southern border of the property is adjacent to Miami River and is a part of the Riparian Protection Development Permit Area.

Current and Proposed Land Use

The main building on the site is currently closed, but it was used as a restaurant prior to the past lease holder moving out. The applicant wishes to continue using this building as a restaurant. A restaurant is a permitted use in this zone.



Zoning Bylaw and OCP Designation

Based upon a review of the Village’s OCP Bylaw No. 1184, 2022, the site is within the Village Centre Designation and two Development Permit Areas; the Lakeshore Development Permit Area which addresses the form and character of the proposed building or structure and the Riparian Protection Development Permit Area.

As the cottage is being demolished, the Lakeshore Development Permit is not applicable in this case. However, the demolition must meet the requirements of the Riparian Protection Development Permit Area which this report seeks to address. As outlined below the site is zoned C-1, and the proposed use is permitted.



DISCUSSION

Assessment report 8638 (attached to this report), meets the requirements of the Development Permit guidelines. Accordingly, the Development Permit may now be issued.

Development Permit Area (DPA) Guideline Objective

The guidelines for this DPA are contained within section 4.7 of the OCP, on page 29.

4.7.1 Guidelines

A Riparian Protection Area Development Permit must not be issued until the Village has been provided with a copy of an assessment report, prepared by a Qualified Environmental Professional who has carried out an assessment, that:

- a. Certifies that the Qualified Environmental Professional is qualified to carry out the assessment.
- b. Certifies that the provincial assessment methods have been followed.
- c. Provides the professional opinion of the Qualified Environmental Professional that:
 - i. if the development is implemented as proposed there will be no harmful alteration, disruption or destruction of natural features, functions and conditions that support fish life processes in the riparian assessment area; or
 - ii. if the width of the streamside protection and enhancement area identified in the report is protected from the development, and the measures identified in the report as necessary to protect the integrity of those areas from the effects of the development are implemented by the developer, there will be no harmful alteration, disruption or destruction of natural features, functions and conditions that support fish life processes in the Riparian Assessment Area.

The Village may include, as conditions of approval of a Development Permit application, the measures identified by a Qualified Environmental Professional in the riparian assessment report necessary to protect both the streamside area and the enhancement area.

Source: Harrison Hot Springs Official Community Plan Bylaw No.1184, 2022

Staff is of the opinion that the attached draft development permit meets the requirements of the Development Permit guidelines.

Referral Agencies

Upon a review of the application, staff are of the opinion that this application does not need to be referred to any external agency.

Notice on Title – Flooding Covenant

There is a covenant registered against the Lot that addresses any potential flooding issues.

Issues of concern

None at this time.

FINANCIAL CONSIDERATIONS

There are no financial considerations associated with this report.

POLICY CONSIDERATIONS

2023 Strategic Plan Priorities

Environmental Protection – To restore and protect the environment for future generations.

OCP – Village Centre Designation and the Riparian Protection Development Permit Guidelines

Zoning Bylaw – C-1 zone regulations and other applicable regulations

Respectfully submitted:

Reviewed by:



Ken Cossey, MCIP, RPP
Planning Consultant



Tyson Koch
Chief Administrative Officer

Attachment: DP 3060-20-DP05/23



Village of Harrison Hot Springs

DEVELOPMENT PERMIT NO. DP 05-23

ISSUED this ____ day of _____, 2024

FILE No: 3060-20-DP05-23
FOLIO Number: 5240-16341

TO: 1044018 BC Limited

(the “Permittee”)

ADDRESS: 7425 Sinclair Crescent
Surrey, BC
V3W 4H2

1. This Development Permit is issued subject to compliance with all of the bylaws of the Village of Harrison Hot Springs applicable thereto. This Development Permit must not be used to supplement any bylaw or vary the requirements of the Village of Harrison Hot Springs Zoning requirements.

2. This Development Permit applies to and only to those parcels of land(s) within the Village of Harrison Hot Springs legally described below:

Parcel Identifier: 017-217-601

Legally Described as: Lot E (AE36501), Sec 13 Township 4, Range 29 West of the 6th Meridian, New Westminster District Plan 251

and any and all buildings, structures, and other development thereon.

(the “Lands”)

3. **This Development Permit is issued only to allow:**
for the demolition of a cottage constructed without a building permit

4. The development must be carried out according to the following time schedule, if applicable: **N/A**

5. As a condition of the issuance of this Development Permit, the Council holds security in the form of an Irrevocable Letter of Credit in the amount of **\$7,613.00** to ensure that development is carried out in accordance with the terms and conditions of this Development Permit. Should any interest be earned upon the security, it must accrue to the Permittee and be paid to the Permittee, if the security is returned. The condition of the posting of the security is that should the Permittee fail to carry out the work hereby authorized according to the terms and conditions of the Development Permit within the time provided, the Village may use the security to carry out the work by its servants, agents or contractors, and any surplus must be paid over to the Permittee; or should the Permittee carry out the work Permitted by this Development Permit within the set time set out below, the security must be returned to the Permittee.

6. THE FOLLOWING CONDITIONS APPLY TO THE DEVELOPMENT OF THE LANDS OR APPLY TO THE USE OF THE LANDS:
- i) Measures to protect the Streamside Protection and Enhancement Area (SPEA) must include placing the construction debris on the asphalt area only and sweeping this surface to ensure that no construction debris run off enters the SPEA or into Miami Creek.
 - ii) The environmental monitoring requirements outlined in Section 5, of the Riparian Areas Protection Regulation: Assessment Report, dated January 24, 2024, must be addressed.
 - iii) The applicant securing a demolition permit from the Fraser Valley Regional District Building Inspection Department.
7. The Permittee agrees that the Lands must be developed and used strictly in accordance with this Development Permit, including any attached plans, maps, and specifications.
8. The following plans, maps or specifications are attached to and form a part of this Development Permit:
- i) Page 9 of 16, of the Riparian Areas Protection Regulation: Assessment Report, dated January 24, 2024, prepared by J. Alex Sartori
9. **This Development Permit is NOT a Building Development Permit, a subdivision approval nor a soil deposit or removal permit.**
10. This Development Permit must lapse on the _____ day of _____, 2026 unless the development is substantially started.

RESOLUTION PASSED BY COUNCIL, THIS _____ day of _____, 2024

I HEREBY CERTIFY that I have read the terms and conditions of the Development Permit contained herein. I understand and agree that the Village of Harrison Hot Springs has made no representations, covenants, warranties, guarantees, promises or agreements (verbal or otherwise) with the owner of the parcel of land or me other than those contained in this Permit.

Jaspreet Jonal
(signature)

Print Name

Kulbir Jonal
(signature)

Print Name

Corporate Officer

FORM 1

Riparian Areas Protection Regulation - Qualified Environmental Professional - Assessment Report

Riparian Areas Protection Regulation: Assessment Report

Please refer to submission instructions and assessment report guidelines when completing this report.

Date January 24, 2024

I. Primary QEP Information

First Name	J. Alex	Middle Name	
Last Name	Sartori		
Designation	R.P. Bio.	Company: JAS Environmental Consulting	
Registration #	1811	Email: jasenvconsult@gmail.com	
Address	Unit 3508 – 1033 Marinaside Crescent		
City	Vancouver	Postal: V6Z A3A	Phone #: 604-220-0199
Prov/state	BC	Country: Canada	

II. Secondary QEP Information (use Form 2 for other QEPs)

First Name		Middle Name	
Last Name			
Designation		Company	
Registration #		Email	
Address			
City		Postal/Zip	Phone #
Prov/state		Country	

III. Developer Information

First Name	Jaspreet	Middle Name	
Last Name	Johal		
Company	1044018 B.C. Ltd.		
Phone #	[REDACTED]	Email: [REDACTED]	
Address	[REDACTED]		
City	Surrey	Postal/Zip:	[REDACTED]
Prov/state	BC	Country:	Canada

IV. Development Information

Development Type	Removal of shed		
Area of Development (ha)	0.0026	Riparian Length (m)	52
Lot Area (ha)	0.15	Nature of Development	Removal
Proposed Start Date	15-02-24	Proposed End Date	30-06-24

V. Location of Proposed Development

Street Address (or nearest town)	318 Hot Springs Road, Harrison Hot Springs, BC		
Local Government	Village of Harrison Hot Springs		
Stream Name	Miami Creek		
Legal Description (PID)	017-217-601	Region: Lower Mainland	
Stream/River Type	Stream	DFO Area 29	
Watershed Code	110-232100		
Latitude	49	18'	4.43"
Longitude	121	47'	8.99"

Completion of Database Information includes the Form 2 for the Additional QEPs, if needed. Insert that form immediately after this page.

Table of Contents for Assessment Report

	Page Number
1. Description of Fisheries Resources Values	3
2. Results of Riparian Assessment (SPEA width)	4
3. Site Plan	6
4. Measures to Protect and Maintain the SPEA (detailed methodology only).	
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2. Windthrow.....	7
3. Slope Stability.....	7
4. Protection of Trees.....	7
5. Encroachment	7
6. Sediment and Erosion Control.....	8
7. Floodplain.....	8
8. Stormwater Management.....	8
5. Environmental Monitoring	9
6. Photos	10
7. Assessment Report Professional Opinion	15

Section 1. Description of Fisheries Resources Values and a Description of the Development proposal

(Provide as a minimum: Species present, type of fish habitat present, description of current riparian vegetation condition, connectivity to downstream habitats, nature of development, specific activities proposed, timelines)

Proposed Development:

The removal of an unauthorized shed structure has triggered this riparian assessment report. An accessory shed structure (approximately 5m x 4m) was constructed on-Site in 2020 on the south-west portion of the property within an area of existing human disturbance (asphalt parking area). No vegetation was removed for the installation of the shed. The shed is located 10.85m from the Top of Bank and is within the 30m Streamside Protection Enhancement Area (SPEA). Removal of the shed can be conducted without any impacts to adjacent vegetation and with no risk of erosion or sediment control requirements, or water quality impact risks. As the shed was constructed within an area of human disturbance (asphalt), no restoration is proposed.

Description of Fisheries Resource Values:

Miami Creek is a 9.2km watercourse that flows from Harrison Lake to Agassiz. The Site is located along the northern shore of the Creek, approximately 600m southeast of the river's egress from Harrison Lake. The Site's southern property line shares ~52m with the north bank of the Miami Creek. The Creek bifurcates at the Site, flowing south as the Miami Slough, and continuing east as Miami Creek. Miami Creek branches once more approximate 1,335m southeast of the Site, where the eastern branch forms Hot Spring Slough and the western branch remains Miami Creek.

Miami River's channel type is defined as Riffle-Pool and it has been classified as an endangered watercourse as per the Sensitive Habitat Inventory and Mapping Atlas (SHIM). Rainbow Trout, Coho Salmon, and Steelhead have all been observed within the river.

Under the definitions of RAPR, the potential vegetation type is tree. During the Site visit, sedges and Cattails (*Typha latifolia*) were identified between the high and low water mark. Western Red Cedar (*Thuja plicata*) and Bitter Cherry (*Prunus emarginata*) trees were located along the Top of Bank. Invasive Hogweed (*Heracleum mantegazzianum*) and Himalayan Blackberry (*Rubus armeniacus*) were also identified both on-Site and along the northern bank of the river.

Due to access/private property issues, transects could only be collected from the subject property and at downstream locations.

Section 2. Results of Riparian Assessment (SPEA width)

Attach or insert the Form 3 or Form 4 assessment form(s). Use enough duplicates of the form to produce a complete riparian area assessment for the proposed development.

2. Results of Detailed Riparian Assessment

Refer to Section 3 of Technical Manual

Date: Dec. 13, 2024

Description of Water bodies involved (number, type)

1

Stream

1

Wetland

Lake

Ditch

Number of reaches

1

Reach #

1

Channel width and slope and Channel Type (use only if water body is a stream or a ditch, and only provide widths if a ditch)

Channel Width(m)		Gradient (%)	
starting point	28.0		I, J. Alex Sartori (<i>name of qualified environmental professional</i>), hereby certify that: a) I am a qualified environmental professional, as defined in the Riparian Areas Protection Regulation made under the <i>Riparian Areas Protection Act</i> ; b) I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>1044018 BC Ltd.</u> (<i>name of developer</i>) ; c) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and d) In carrying out my assessment of the development proposal, I have followed the technical manual to the Riparian Areas Protection Regulation.
upstream	27.0		
	38.0		
	42.0		
downstream	28.0		
	38.0		
	41.0		
	33.0		
	35.0		
	32.0		
	33.0		
Total: minus high /low	306.0		
mean	34.0		
	R/P	C/P	
Channel Type	X		

Site Potential Vegetation Type (SPVT)

	Yes	No	
SPVT Polygons		X	Tick yes only if multiple polygons, if No then fill in one set of SPVT data boxes
			I, J. Alex Sartori (<i>name of qualified environmental professional</i>), hereby certify that: a) I am a qualified environmental professional, as defined in the Riparian Areas Protection Regulation made under the <i>Riparian Areas Protection Act</i> ; b) I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>1044018 BC Ltd.</u> (<i>name of developer</i>) ; c) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and d) In carrying out my assessment of the development proposal, I have followed the technical manual to the Riparian Areas Protection Regulation.
Polygon No:	1		Method employed if other than TR
	LC	SH	
SPVT Type			X
Polygon No:			Method employed if other than TR

SPVT Type	LC	SH	TR
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

--

Polygon No:	<input type="text"/>
SPVT Type	<input type="text"/>

Method employed if other than TR
<input type="text"/>

Zone of Sensitivity (ZOS) and resultant SPEA

Segment No:	1	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons
-------------	---	---

LWD, Bank and Channel Stability ZOS (m)	30
---	----

Litter fall and insect drop ZOS (m)	15
-------------------------------------	----

Shade ZOS (m) max	NA	South bank	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
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Ditch	Justification description for classifying as a ditch (manmade, no significant headwaters or springs, seasonal flow)				
Ditch Fish Bearing	Yes	<input type="checkbox"/>	No	<input type="checkbox"/>	If non-fish bearing insert no fish bearing status report

SPEA maximum	30	(For ditch use table3-7)
---------------------	-----------	--------------------------

Segment No:	<input type="text"/>	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons
-------------	----------------------	---

LWD, Bank and Channel Stability ZOS (m)	<input type="text"/>
---	----------------------

Litter fall and insect drop ZOS (m)	<input type="text"/>
-------------------------------------	----------------------

Shade ZOS (m) max	<input type="text"/>	South bank	Yes	<input type="checkbox"/>	No	<input type="checkbox"/>
-------------------	----------------------	------------	-----	--------------------------	----	--------------------------

SPEA maximum	<input type="text"/>	(For ditch use table3-7)
---------------------	----------------------	--------------------------

Segment No:	<input type="text"/>	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons
-------------	----------------------	---

LWD, Bank and Channel Stability ZOS (m)	<input type="text"/>
---	----------------------

Litter fall and insect drop ZOS (m)	<input type="text"/>
-------------------------------------	----------------------

Shade ZOS (m) max	<input type="text"/>	South bank	Yes	<input type="checkbox"/>	No	<input type="checkbox"/>
-------------------	----------------------	------------	-----	--------------------------	----	--------------------------

SPEA maximum	<input type="text"/>	(For ditch use table3-7)
---------------------	----------------------	--------------------------

I, J. Alex Sartori (*name of qualified environmental professional*), hereby certify that:

a) I am a qualified environmental professional, as defined in the Riparian Areas Protection Regulation made under the *Riparian Areas Protection Act*;

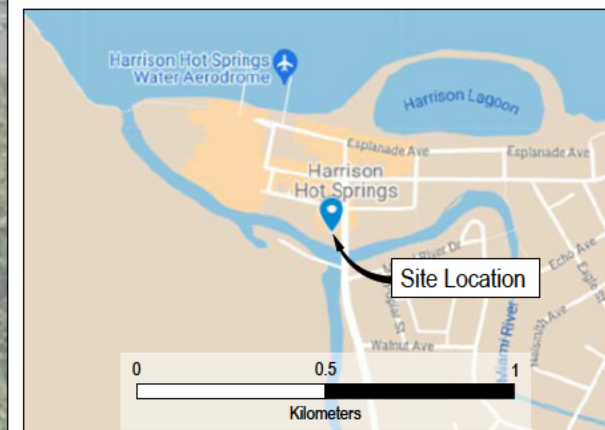
b) I am qualified to carry out this part of the assessment of the development proposal made by the developer 1044018 BC Ltd. (*name of developer*);

c) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and

d) In carrying out my assessment of the development proposal, I have followed the technical manual to the Riparian Areas Protection Regulation.

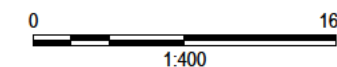
Comments

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LEGEND

- - - Site Boundary
- 1 Approximate High Water Mark Transect
- - - Approximate Top of Bank
- Approximate High Water Mark
- - - LWD, Bank and Channel Stability (30m)
- - - Litter Fall and Insect Drop (15m)
- - - Streamside Protection Enhancement Area (30m)
- Riparian Assessment Area (30m)



- IMAGE SOURCES:**
- Inset Map: Google Maps
 - Aerial Image: Fraser Valley Regional District GIS

DISCLAIMER:
This drawing is part of a NEXT Environmental Inc. report and its use is subject to the limitations expressed in the Compliance Statement of that report.

NOTE:
All locations are approximate unless otherwise noted.

Client: Ms. Jaspreet Johal			
Project: Riparian Area Protection Regulations 318 Hot Springs Road, Harrison Hot Springs, BC			
Consultant: AS	Drawn by: BP Drawn date: January 22, 2024	Checked by:	Project No: 104120201
RAPR Setbacks			DWG: 104120201-002.dwg Figure: 69 01

Section 4. Measures to Protect and Maintain the SPEA

This section is required for detailed assessments. Attach text or document files, as need, for each element discussed in Part 4 of the RAPR. It is suggested that documents be converted to PDF *before* inserting into the assessment report. Use your “return” button on your keyboard after each line. You must address and sign off each measure. If a specific measure is not being recommended a justification must be provided.

1. Danger Trees	There are no danger trees within the riparian area that require assessment or removal.
<p>I, J. Alex Sartori (<i>name of qualified environmental professional</i>), hereby certify that:</p> <p>e) I am a qualified environmental professional, as defined in the Riparian Areas Protection Regulation made under the <i>Riparian Areas Protection Act</i>;</p> <p>f) I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>1044018 BC Ltd. (name of developer)</u> ;</p> <p>g) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and in carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Minister’s technical manual to the Riparian Areas Protection Regulation.</p>	
2. Windthrow	As there are no requirements for tree removal, there are no windthrow issues that demand mitigation efforts.
<p>I, J. Alex Sartori (<i>name of qualified environmental professional</i>), hereby certify that:</p> <p>a. I am a qualified environmental professional, as defined in the Riparian Areas Protection Regulation made under the <i>Riparian Areas Protection Act</i>;</p> <p>b. I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>1044018 BC Ltd. (name of developer)</u>;</p> <p>c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and in carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Minister’s technical manual to the Riparian Areas Protection Regulation.</p>	
3. Slope Stability	The shed slated to be removed is currently on paved level ground, 10.85m away from the top of bank. Therefore, no slope stability assessment was deemed necessary.
<p>I, J. Alex Sartori (<i>name of qualified environmental professional</i>), hereby certify that:</p> <p>a. I am a qualified environmental professional, as defined in the Riparian Areas Protection Regulation made under the <i>Riparian Areas Protection Act</i>;</p> <p>b. I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>1044018 BC Ltd. (name of developer)</u>;</p> <p>c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and in carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Minister’s technical manual to the Riparian Areas Protection Regulation.</p>	
4. Protection of Trees	Removal of the shed from the paved surface will have no potential effect on trees. Construction debris from the shed will be placed on asphalt surface and not within the riparian area. Tree protection is not required for this development.
<p>I, J. Alex Sartori (<i>name of qualified environmental professional</i>), hereby certify that:</p> <p>a. I am a qualified environmental professional, as defined in the Riparian Areas Protection Regulation made under the <i>Riparian Areas Protection Act</i>;</p> <p>b. I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>1044018 BC Ltd. (name of developer)</u> ;</p> <p>c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and in carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Minister’s technical manual to the Riparian Areas Protection Regulation.</p>	
5. Encroachment	The shed is currently within the 30m SPEA so encroachment is unavoidable. Measures will be taken to protect the SPEA during the tear-down and removal of the shed, including placing construction debris on asphalt areas, and sweeping the surface to ensure no construction debris runs off into the riparian area or adjacent catch basins.
<p>I, J. Alex Sartori (<i>name of qualified environmental professional</i>), hereby certify that:</p> <p>a. I am a qualified environmental professional, as defined in the Riparian Areas Protection Regulation made under the <i>Riparian Areas Protection Act</i>;</p> <p>b. I am qualified to carry out this part of the assessment of the development proposal made by the <u>1044018 BC Ltd. (name of developer)</u>;</p>	

c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and in carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Minister's technical manual to the Riparian Areas Protection Regulation.	
6. Sediment and Erosion Control	The shed slated for removal has been constructed on top of an asphalt parking area. This removal is not expected to impact the surface soils and therefore a sediment and erosion control plan was not deemed necessary.
I, J. Alex Sartori (<i>name of qualified environmental professional</i>), hereby certify that:	
a. I am a qualified environmental professional, as defined in the Riparian Areas Protection Regulation made under the <i>Riparian Areas Protection Act</i> ;	
b. I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>1044018 BC Ltd.</u> (<i>name of developer</i>);	
c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and in carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Minister's technical manual to the Riparian Areas Protection Regulation.	
7. Stormwater Management	A stormwater management plan was not deemed necessary as there will be no increase to impermeable surfaces, and therefore no change to stormwater runoff.
I, J. Alex Sartori (<i>name of qualified environmental professional</i>), hereby certify that:	
a. I am a qualified environmental professional, as defined in the Riparian Areas Protection Regulation made under the <i>Riparian Areas Protection Act</i> ;	
b. I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>1044018 BC Ltd.</u> (<i>name of developer</i>);	
c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Minister's technical manual to the Riparian Areas Protection Regulation.	
8. Floodplain Concerns (highly mobile channel)	There are no floodplain concerns on Site.
I, J. Alex Sartori (<i>name of qualified environmental professional</i>), hereby certify that:	
a. I am a qualified environmental professional, as defined in the Riparian Areas Protection Regulation made under the <i>Riparian Areas Protection Act</i> ;	
b. I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>1044018 BC Ltd.</u> (<i>name of developer</i>);	
c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Minister's technical manual to the Riparian Areas Protection Regulation.	

Section 5. Environmental Monitoring

Attach text or document files explaining the monitoring regimen. Use your "return" button on your keyboard after each line. It is suggested that all documents be converted to PDF *before* inserting into the PDF version of the assessment report. Include actions required, monitoring schedule, communications plan, and requirement for a post development report.

A QEP must be notified 3 days in advance of any construction works on the subject property, with the following items to be discussed prior to construction:

1. Review work plan (all work to be conducted outside of vegetated area);
2. Ensure appropriate mitigation measures are/will be in place (covering of catch basins if works occur during a rain event);
3. Review all Measures to Protect the SPEA stated in this report and ensure appropriate equipment to satisfy the measures are on-site or available;
4. Set up a contact system should a Biologist or Qualified Environmental Professional (QEP) be required on site in the event of sediment/erosion issues or some other type of risk to aquatic habitats that may arise during construction.

Immediately upon completion of the construction work, the proponent is to contact a QEP for a post-construction site inspection. Any deficiencies noted by the QEP are to be addressed by the proponent. A final post-construction report is to be submitted by the QEP to the BC RAPR Notification System.

Section 6. Photos

Provide a description of what the photo is depicting, and where it is in relation to the site plan.

Photograph 1: A view of the shed. Taken from the western portion of the Site, looking southwest. South of the hedges marks the Top of Bank boundary.



Photograph 2: A view of the Top of Bank boundary, taken from the southeast corner of the shed, looking south.



Photograph 3: A view of Miami Creek. Taken from the southern portion of the Site, looking west.



Photograph 4: A view of the shed taken from the High-Water Mark, taken directly south of the shed, looking north.



Photograph 5: A view of the Top of Bank. Taken from the southwest corner of the Site, looking east.



Photograph 6: A view of the Site, taken from High Water Mark transect location 5, looking west.



Photograph 7: A view of Miami Creek displaying the typical habitat conditions in front of the Site. Taken from transect point 1, looking south.



Photograph 8: A view of Miami Creek, taken at transect point 3, displaying the typical habitat conditions upstream of the Site.



Photograph 9: A view of the Site, taken from the Top of Bank near transect location 4., looking west.



Photograph 10: A view of the Site, taken at the Top of Bank near transect point 4, looking north.



Section 7. Professional Opinion

Qualified Environmental Professional opinion on the development proposal's riparian assessment.

Date

1. I/We J. Alex
Sartori _____

Please list name(s) of qualified environmental professional(s) and their professional designation that are involved in assessment.)

hereby certify that: I am/We are qualified environmental professional(s), as defined in the Riparian Areas Protection Regulation made under the *Riparian Areas Protection Act*;

- b) I am/We are qualified to carry out the assessment of the proposal made by the developer 1044018 BC Ltd (name of developer), which proposal is described in section 3 of this Assessment Report (the "development proposal");
- c) I have/We have carried out an assessment of the development proposal and my/our assessment is set out in this Assessment Report; and
- d) In carrying out my/our assessment of the development proposal, I have/We have followed the specifications of the Riparian Areas Protection Regulation and assessment methodology set out in the minister's manual; AND

2. As qualified environmental professional(s), I/we hereby provide my/our professional opinion that:

- a) the site of the proposed development is subject to undue hardship, (if **applicable, indicate N/A otherwise**) and
- b) the proposed development will meet the **riparian protection standard** if the development proceeds as proposed in the report and complies with the measures, if any, recommended in the report.

[NOTE: "Qualified Environmental Professional" means an individual as described in section 21 of the Riparian Areas Protection Regulation.]

File No: 3060-20-DP05/22 (Revised)
Date: May 21, 2024

To: Mayor and Council
From: Ken Cossey, Planning Consultant
Subject: Development Permit – 511 Lillooet Avenue

RECOMMENDATION

THAT Development Permit DP 05/22 be issued to 2118 Development Limited for property located at 511 Lillooet Avenue, Harrison Hot Springs for land legally described as:

Lot A, Sec 13, Twp 4, Rg 29, W6M, New Westminster District Plan EPP 108940

Subject to the following;

- a) The registration of a save-harmless flood covenant that is acceptable to the Village, be placed on title;
- b) For the installation of or the placement of any signs on the building or structure, the applicant must follow the requirements as outlined in the Village of Harrison Hot Springs Sign Bylaw No. 1126, 2018, as amended from time to time. To start this process, a Comprehensive Sign Plan application must be submitted, and approved by the Village;
- c) The pending Zoning Bylaw text amendments, associated with this site, are approved;
- d) The applicant entering into a Works and Services Agreement, to address servicing, frontage improvements, the placement of street furniture and the update to the Rendall Park washroom facilities,
- e) The applicant entering into a Works and Services Agreement to address the Landscaping requirements,
- f) The applicant entering into a covenant to address the placement of an Electric Vehicle Charging outlet, and
- g) The Village receiving an Irrevocable Letter of Credit in the amount of \$2,052,334.00.

SUMMARY

To present a draft Development Permit for 511 Lillooet Avenue for Council's consideration.

DISCUSSION

At the April 3, 2024 Regular Council Meeting, Council adopted Zoning Amendment Bylaw No. 1193, 2023 in relation to this development, subject to a number of conditions. In addition to the pending zoning text amendment conditions, this development is also in the Lakeshore

Development Permit Area (DPA). This DPA has been set up to address the form and character issues associated with development in this area.

As this application was received prior to the adoption of the Village’s Official Community Plan Bylaw No. 1184, 2022, the previous OCP Bylaw No. 864, 2007 is the governing bylaw for this permit.

BACKGROUND

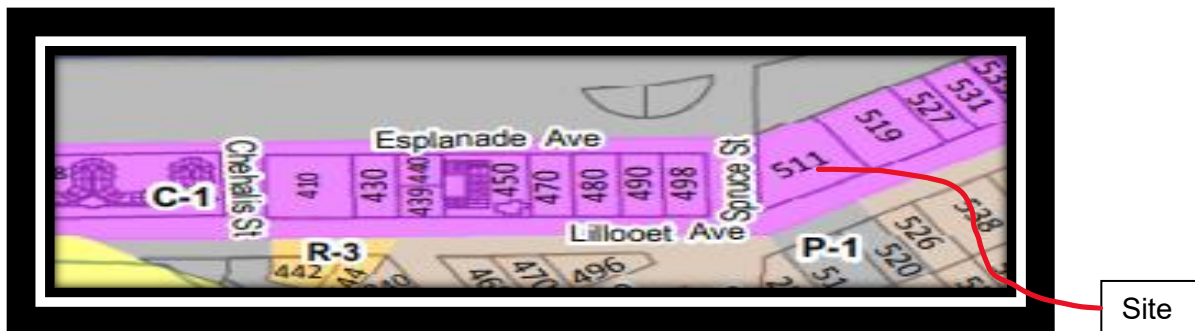
Parcel Size, and adjacent uses

This site is approximately 0.43 Ha (1.06 Ac, 4300 M², or 46,285 ft²) in size, is currently vacant and is accessible from Lillooet Avenue.



The site is bounded on the north by Rendall Park, on the south by Lillooet Avenue, and on the east and west the area is zoned C-1. Across Lillooet Avenue the area is zoned R-2.

Zoning Information



While the site is zoned for the proposed use, there is a pending rezoning text amendment specifically for this site. The text amendment addresses the land use regulations associated with the proposed use.

OCP Designation

Based upon a review of the OCP Bylaw No. 864, 2007, the site is within the Village Centre Designation and one Development Permit Area; the Lakeshore Development Permit Area which addresses the form and character of the proposed building or structure.

Development Permit Area (DPA) Guideline Objective

The guidelines for this DPA are contained within section 4.4.4 of the OCP, on page 31.

“Development Permits issued in this area shall be in accordance with the Village of Harrison Hot Springs Design Guidelines, forming **Schedule 1-D** of this plan. The design principles include:

- a. Architecture responsive to the medium density mixed-use context and integrated with neighbouring buildings of various ages.
- b. Site planning (is) based on creating continuous street-oriented edges and intensifying pedestrian activity within the Lakeshore Special Planning Area.
- c. Protection of view corridors within the Village towards Harrison Lake and the surrounding mountains.
- d. Respect for the natural setting which should continue to dominate along the lakeshore.
- e. Variation on themes to result in a balance between continuity and a healthy diversity, both within a commercial, residential, or mixed-use development and throughout the Village.”

Source: *Harrison Hot Springs Official Community Plan, 864, 2007*

Attached to this report is a draft development permit which meets the requirements of the guidelines.

Referral Agencies

Upon a review of the application, staff are of the opinion that this application does not need to be referred to any external agency.

Notice on Title

There is currently no covenant registered against the Lot that addresses any potential flooding issues.

On-Site Parking

The applicant is constructing a two-storey parkade that consists of 134 parking stalls, which includes 10 accessible parking stalls. The number of the 10 stalls exceeds the required 8 accessibility parking stalls. As per the Zoning Bylaw requirements, the applicant will also be supplying 27 bicycle parking stalls. As per the Zoning Bylaw at least one EV charging outlet must be provided. While it is not identifiable on the plans submitted, the Village can request that this issue be addressed through the use of a covenant.

Issues of concern

None at this time.

FINANCIAL CONSIDERATIONS

There are no financial considerations associated with this report.

POLICY CONSIDERATIONS

2023 Strategic Plan Priorities:

Sustainable Development – To maintain Harrison Hot Springs as a place we call home.

OCP Bylaw No. 864, 2007 – Village Centre Designation and the Village Design Guidelines

Zoning Bylaw No. 1115, 2017 – C-1 zone regulations and other applicable regulations

Respectfully submitted:



Ken Cossey, MCIP, RPP
Planning Consultant

Reviewed by:

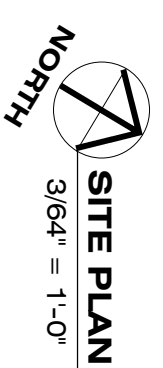
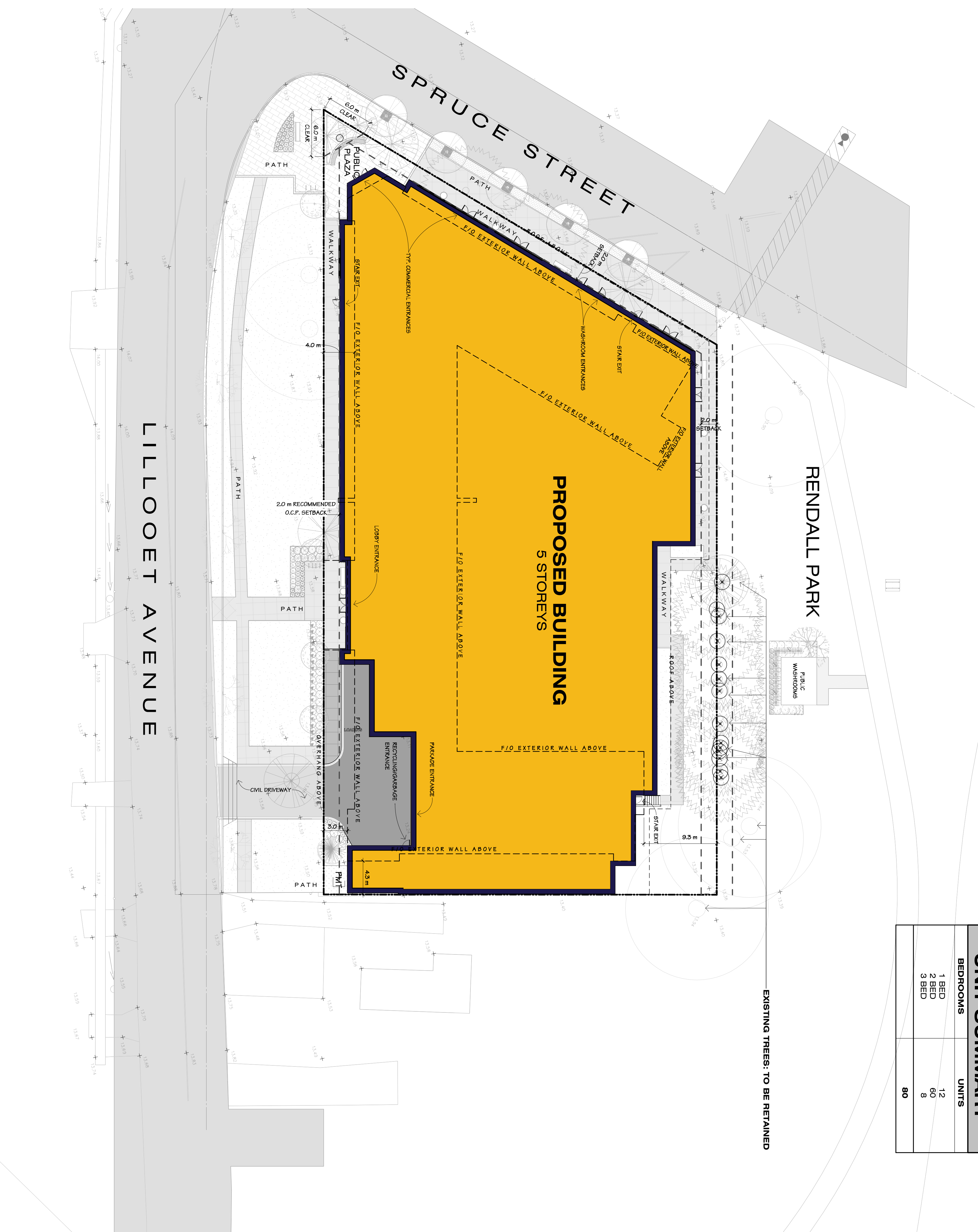


Tyson Koch
Chief Administrative Officer

Attachments: (5)

1. Site Plan - DP1.1
2. Landscape Plan – L1, L1A, L1B, and L1C
3. Renderings – DP0.0 to DP3.0
4. L3.4 – Off Site Washroom Scheme
5. DP 3060-20-DP05/22

UNIT SUMMARY	
BEDROOMS	UNITS
1 BED	12
2 BED	60
3 BED	8
	80



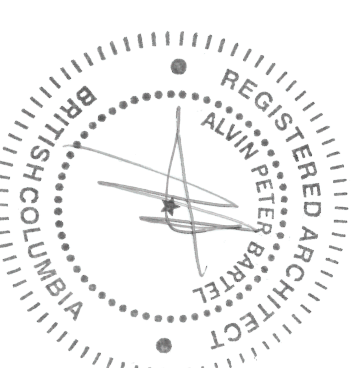
SITE PLAN

ANCORA RESIDENCES

511 LILLOOET AVENUE, HARRISON HOT SPRINGS, BC

SCALE: As indicated
A08 NO. 20070

Aug 3, 2022



604 793 9445
searchitects.com

Chilliwack
9355 Young Rd
V2S 4S3

Abbotsford
203-2190 W. Railway St
V2S 2E2

PROJECT INFORMATION

CIVIC ADDRESS
511 LILLOOET AVENUE, HARRISON HOT SPRINGS, BC

LEGAL DESCRIPTION
LOT 4, SECTION 13, TOWNSHIP 4, RANGE 29 WEST OF THE SIXTH MERIDIAN, N.W.D. PLAN EPP109940

PROPOSED NUMBER OF DWELLINGS
80

SITE AREA
0.43 Ha / 4295 sm / 46,233 sf

EXISTING ZONING
C1 (WITH VARIANCES)

PROPOSED ZONING
BYLAW FOR THE VILLAGE OF HARRISON HOT SPRINGS, BYLAW NO. 1115, 2017

FLOOR AREAS

PARKADE
P1 : 24 023 SF (2231.8 SM)

P2 : 24 544 SF (2280.2 SM)

TOTAL PARKADE : 48 567 SF (4512 SM)

PERSONAL SERVICE ESTABLISHMENT: 3330 SF (309.4 SM)

RESTAURANT: 2290 SF (212.7 SM) | 60 SEAT MAX. PROPOSED

TOTAL COMMERCIAL 5620 SF (522.1 SM)

P1 : 3698 SF (343.5 SM)

P2 : 4537 SF (421.5 SM)

TOTAL NON-PARKING AREAS : 8235 SF (765 SM)

2ND FLOOR : 20 319 SF (1887.7 SM)

3RD FLOOR : 20 350 SF (1890.6 SM)

4TH FLOOR : 20 351 SF (1890.6 SM)

5TH FLOOR : 20 276 SF (1883.7 SM)

LOFT FLOOR : 2 884 SF (268 SM)

TOTAL RESIDENTIAL FLOORS : 84 180 SF (7820.6 SM)

INDOOR : 4 061.2 SF (377.3 SM)

OUTDOOR : 13 952.1 SF (1296.2 SM)

TOTAL AMENITY AREA : 18 013.3 SF (1673.5 SM)

TOTAL FLOOR AREA (EXCLUDING PARKING) AMENITY AREA

ZONING BYLAW REVIEW

PART 3.0 GENERAL COMPLIANCE, PROHIBITIONS AND REGULATIONS

3.6 (b) ARCHITECTURAL PROJECTIONS INTO SETBACKS

- ARCHITECTURAL FEATURES MUST NOT PROJECT MORE THAN 0.6 m
- ARCHITECTURAL FEATURE PROJECTIONS MUST NOT EXCEED 40% OF FACADE
- EXTERIOR STAIRS MAY BE LOCATED WITHIN A FRONT, EXTERIOR SIDE, OR REAR SETBACK
- ACCESSIBLE STRUCTURES/FACILITIES MAY BE LOCATED WITHIN SETBACKS IF NOT CLOSER THAN 0.3 m TO ANY SIDE LOT LINE
- UNCOVERED PATIOS AND TERRACES NO GREATER THAN 0.6 m ABOVE GRADE MAY BE LOCATED WITHIN SETBACKS

3.8 SITE LINE REQUIREMENTS AT INTERSECTIONS

- NO VISUAL OBSTRUCTIONS PERMITTED ABOVE 0.3 m ABOVE HIGHWAY GRADE WITHIN A 6 m TRIANGULAR AREA ON LOT

3.11 FLOOD CONTROL REQUIREMENTS

- FLOOD LEVEL ELEVATION IS 14.53 m FOR COMMERCIAL AND RESIDENTIAL

PART 7.0 ZONING REGULATIONS

7.1.2 COMMERCIAL USES

PROPOSED: COMMERCIAL AND APARTMENTS PROPOSED

PERMITTED USES

NONE PROPOSED

ACCESSORY USES

4295.2 sm

MIN. LOT SIZE IS 464 sm

NOT APPLICABLE

SUBDIVISION FOR A RELATIVE IS 1 Ha.

(EXCLUDES STAIRS, ELEV. MECH, ELEC. & AMENITY SPACES)
(822.1 + 7120.5 sm) 4295.2 sm = 1.78 (VARIANCE REQUIRED)

1.75 WITH O.C.P. DENSITY BONUS

50.29 m

MIN. LOT WIDTH IS 20 m

3303.4 sm / 4295.2 sm = (76.9%) (VARIANCE REQUIRED)

MAX. LOT COVERAGE IS 75%

2.0 m AT 1ST FLOOR, P1 & P2; 3.0 m 2ND FLOOR & ABOVE

MIN. FRONT SETBACK (SPRUCE ST) IS 0 m

0 m ON 1ST FLOOR, P1 & P2; 4.1 m 2ND FLOOR & ABOVE

MIN. REAR SETBACK IS 0 m

2.0 m AT 1ST FLOOR, P1 & P2; 2.0 m 2ND FLOOR & ABOVE

MIN. INT. SIDE SETBACK (LILLOOET AVE) IS 0 m

2.0 m ON 1ST FLOOR; 1.5 m 2ND FLOOR & ABOVE

MIN. EXTERIOR SIDE SETBACK IS 0 m

22.09 m ARCHITECTURAL FEATURES (VARIANCE REQUIRED)

MAX. HEIGHT IS 15 m

17.95 m MAIN ROOF

PARKING BYLAW REVIEW

PART 6.0 PARKING AND LOADING REQUIREMENTS

PARKING REQUIRED:

RESIDENTIAL:
REQUIRED: 80 UNITS X 1.25 = 100 PARKING STALLS (INCLUDING VISITOR PARKING)

COMMERCIAL:
PERSONAL SERVICES ESTABLISHMENT: 309.3 S.M. / 28 = 11.05 = 11 STALLS

RESTAURANT: 60 SEATS / 5 = 20 STALLS

TOTAL: 31 STALLS

TOTAL PARKING PROVIDED: 131 STALLS

PARKING PROVIDED:

142 FLOOR 66 STALLS

P1 FLOOR: 66 STALLS

TOTAL PARKING PROVIDED: 132 STALLS (1 EXTRA)

OFF-STREET PARKING GENERAL REQUIREMENTS

BICYCLE PARKING AT MINIMUM RATE OF 20% OF REQUIRED VEHICLE PARKING

REQUIRED: 20% X 131 = 26 STALLS

PROVIDED: 26 STALLS

MIN. 1 ELECTRIC VEHICLE CHARGER REQUIRED

PROVIDED: 1 ELECTRIC VEHICLE CHARGER

ACCESSIBLE PARKING STALLS REQUIRED:

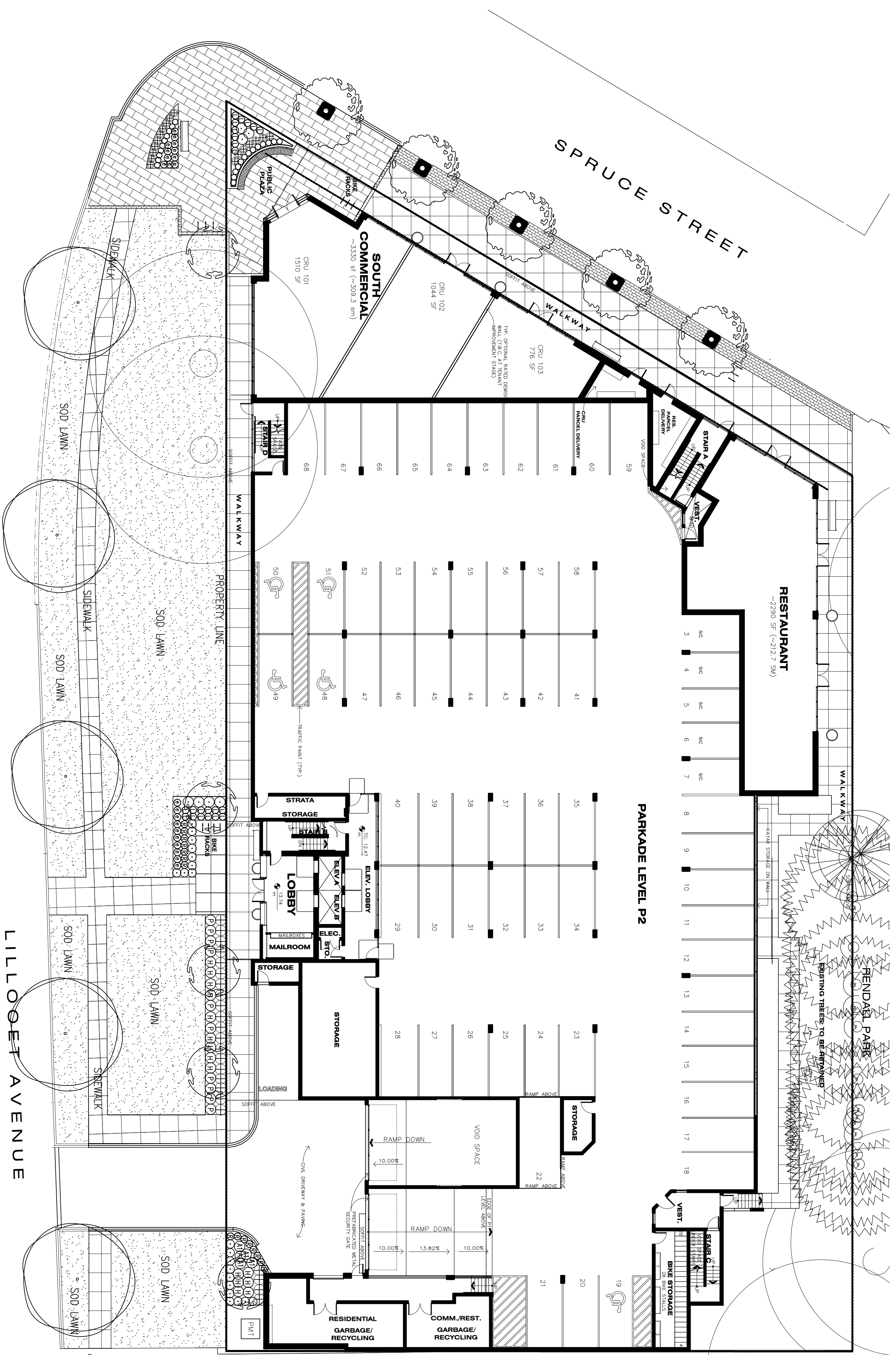
REQUIRED FOR 136 PARKING STALLS: 8 ACCESSIBLE STALLS

PROVIDED: 8 ACCESSIBLE STALLS

LOADING ZONE:

REQUIRED: 1 LOADING ZONE

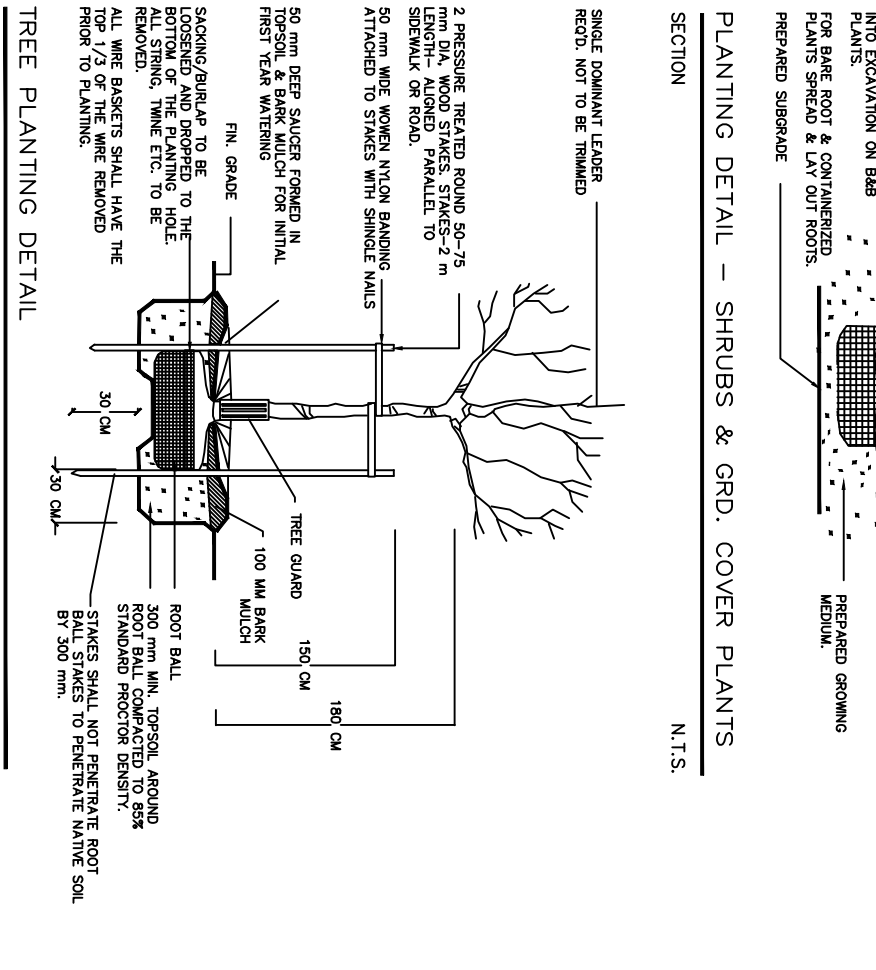
PROVIDED: 1 LOADING ZONE



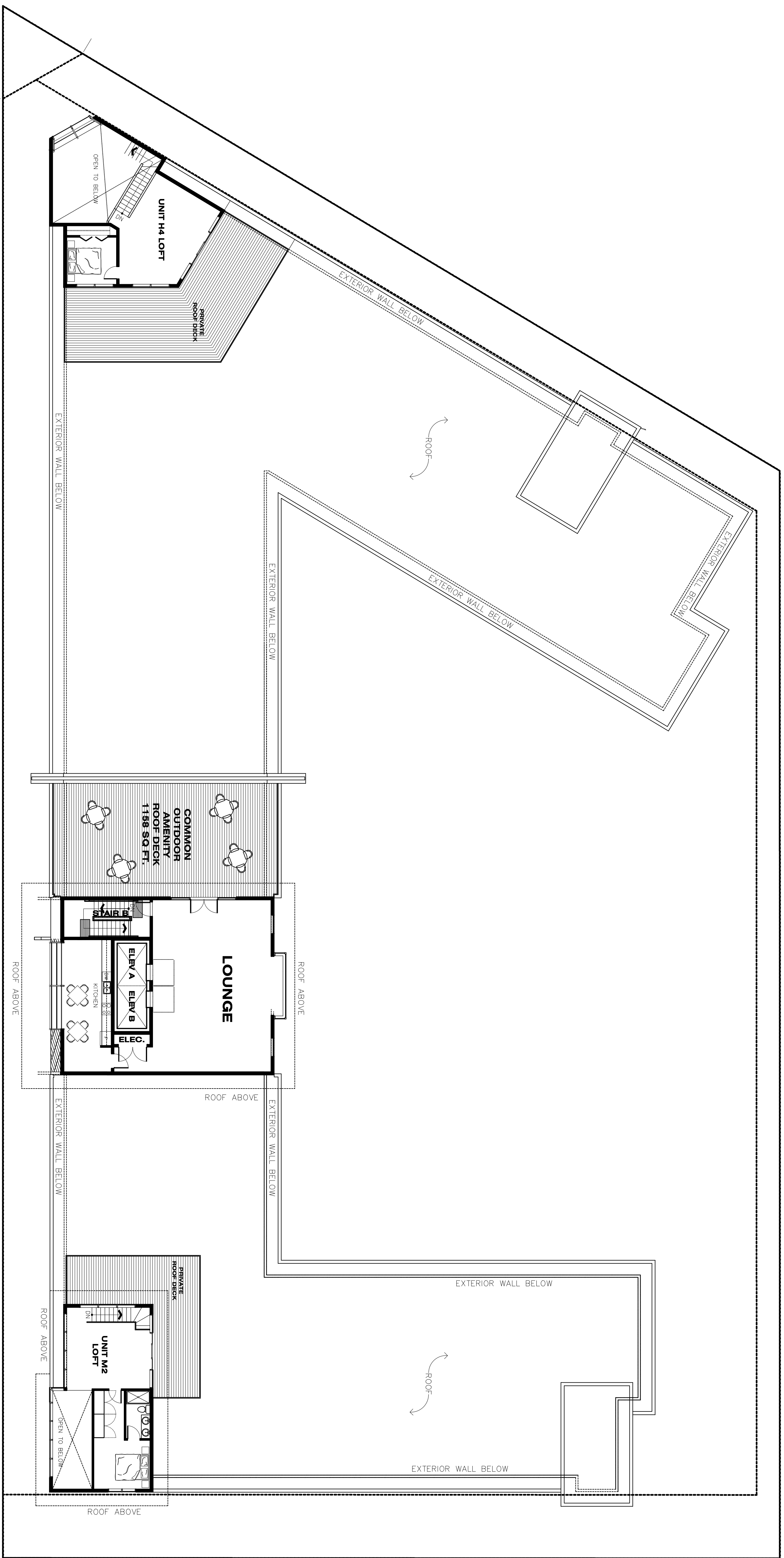
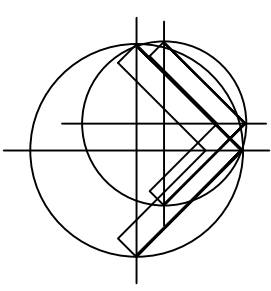
KEY	BOTANICAL NAME	PLANT LIST	COMMON NAME	QTY.	SIZE	SPACING	REMARKS
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⊕	PRUNUS SEROTINATA AMANAGAWA	AMANAGAWA CHERRY	5	5 CM. CAL.	AS SHOWN	B. & B.
⊕	SORBUS AUCUPARIA CARDINAL ROYAL	MOUNTAIN ASH	5	3.00 METERS	AS SHOWN	B. & B.
⊕	GLEDITSIA TRIACANTHOS INEMIS SUNBURST	HONEY LOCUST	5	3.00 METERS	AS SHOWN	B. & B.
⊕	SARCOCCOA HOOKERANA HOWLIS	HIMALAYAN SWEET BOX	20	#3 POT	55 CM. O.C.	
⊕	AZALEA JAPONICA HIND CRIMSON	#3 POT	23	#3 POT	85 CM. O.C.	
⊕	AZALEA NORTHERN LIGHTS MANDARIN LIGHTS	#3 POT	23	#3 POT	90 CM. O.C.	
⊕	BUXUS MACROPHYLLA 'WINTER GEM'	ASIAN BOXWOOD	23	#3 POT	45 CM. O.C.	
⊕	SPRAEA x BIMALDA 'DART'S RED'	DART'S RED SPRAEA	7	#3 POT	90 CM. O.C.	
⊕	POLYSTICHUM MOUNTAIN	SHARD FERN	10	#3 POT	90 CM. O.C.	
⊕	HOSTA (VARIOUS)	HOSTA	15	#3 POT	90 CM. O.C.	
⊕	PRUNUS LAUROCEASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	17	#3 POT	90 CM. O.C.	
⊕	LAVANDULA ANGSTROFLA 'MUNSTEAD'	LAVENDER	22	#3 POT	55 CM. O.C.	
⊕	RUDEBECKIA TRILOBA	BLACK-EYED SUSAN	15	#3 POT	55 CM. O.C.	
⊕	ERICA CARNEA SPRINGWOOD PIKK	HEATHER	21	#3 POT	55 CM. O.C.	

- NOTES /REMARKS**
- 1) PLANT SPECIES IN THIS LIST ARE SPECIFIED ACCORDING TO BC LANDSCAPE STANDARD TABLES AND SHOULD BE USED AS A GUIDE. THE LANDSCAPE ARCHITECT HAS CONDUCTED VISUAL VERIFICATION OF THE PLANT SPECIES AND HAS DETERMINED THAT THEY ARE AVAILABLE IN THE LOCAL MARKET. THE LANDSCAPE ARCHITECT HAS CONDUCTED VISUAL VERIFICATION OF THE PLANT SPECIES AND HAS DETERMINED THAT THEY ARE AVAILABLE IN THE LOCAL MARKET. THE LANDSCAPE ARCHITECT HAS CONDUCTED VISUAL VERIFICATION OF THE PLANT SPECIES AND HAS DETERMINED THAT THEY ARE AVAILABLE IN THE LOCAL MARKET.
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<p>CONCRETE PATIERS</p>	
DATE	REVISIONS
NO.	NO.
<p>CLAVOLINAS & ASSOCIATES INC.</p> <p>BCSA CSA</p> <p>2462 JONQUIL COURT</p> <p>ABBOTSFORD, B.C.</p> <p>V3S 3E8</p> <p>PHONE (604) 857-2376</p>	
<p>CLIENT</p> <p>MARLEON SPRIGGERS</p> <p>STATION ONE ARCHITECTS</p> <p>9335 YOUNG ROAD</p> <p>CHILLIWACK, B.C.</p> <p>V2P 4E3</p> <p>604-</p>	
<p>TITLE</p> <p>PLAN VIEW</p> <p>LANDSCAPE PLAN</p> <p>PROPOSED</p> <p>ANCORA RESIDENCES</p> <p>511 LILLOOET AVENUE</p> <p>HARRISON HOT SPRINGS, B.C.</p>	
SCALE	DATE
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DATE	REVISIONS	NO.
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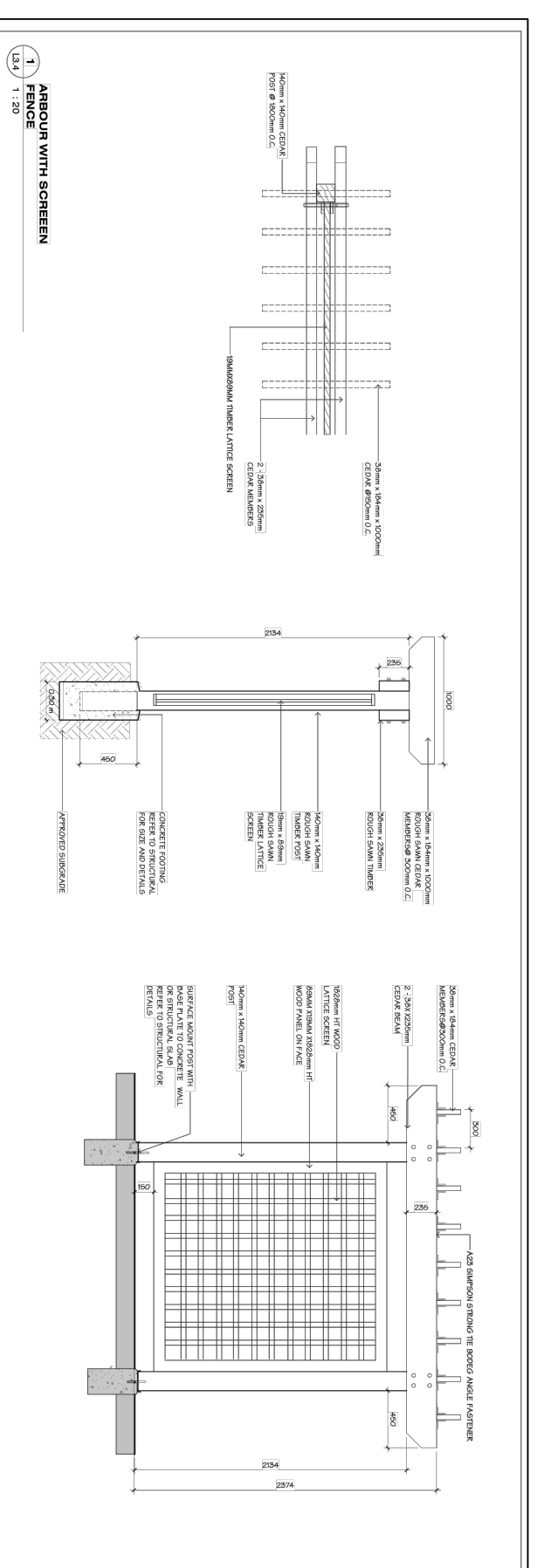
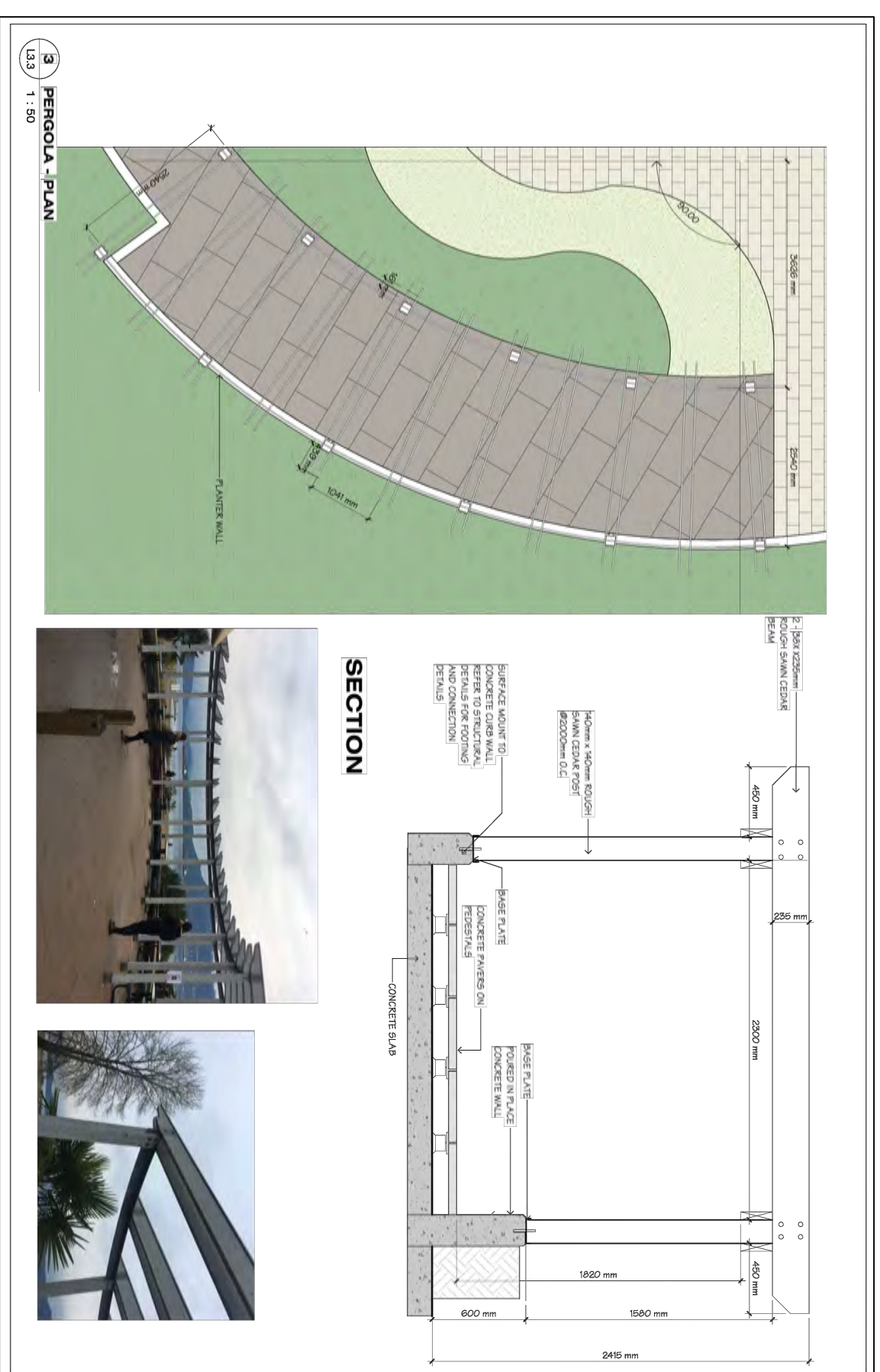
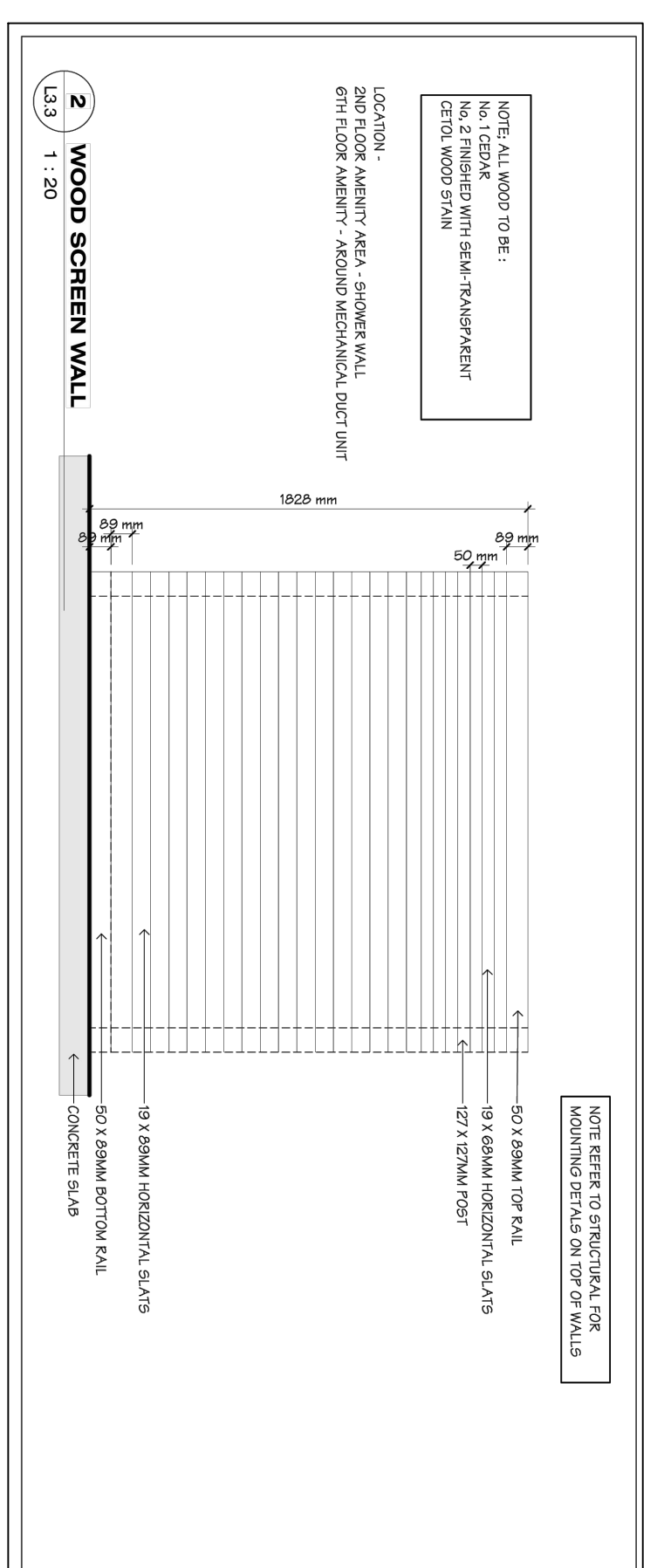
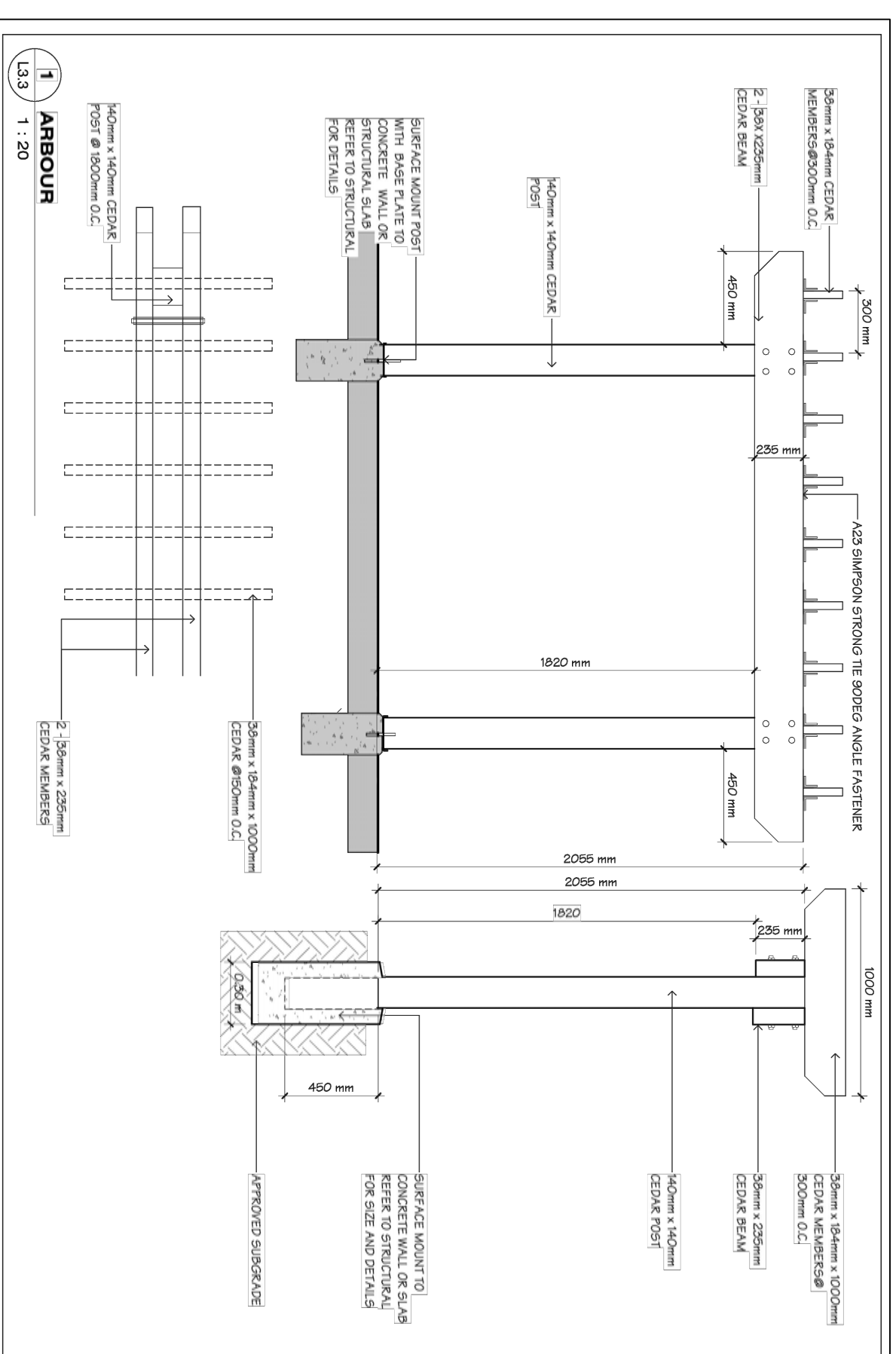
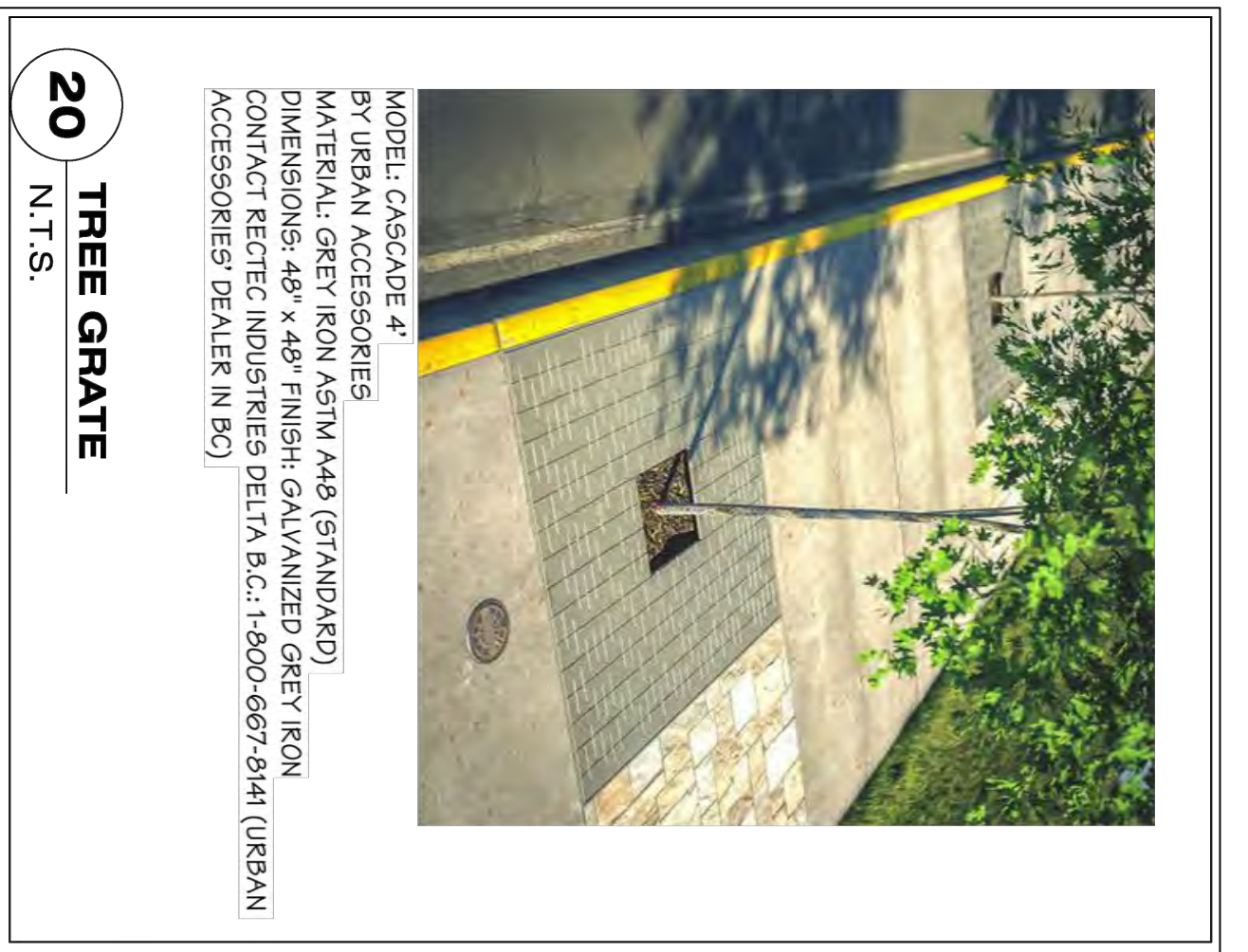
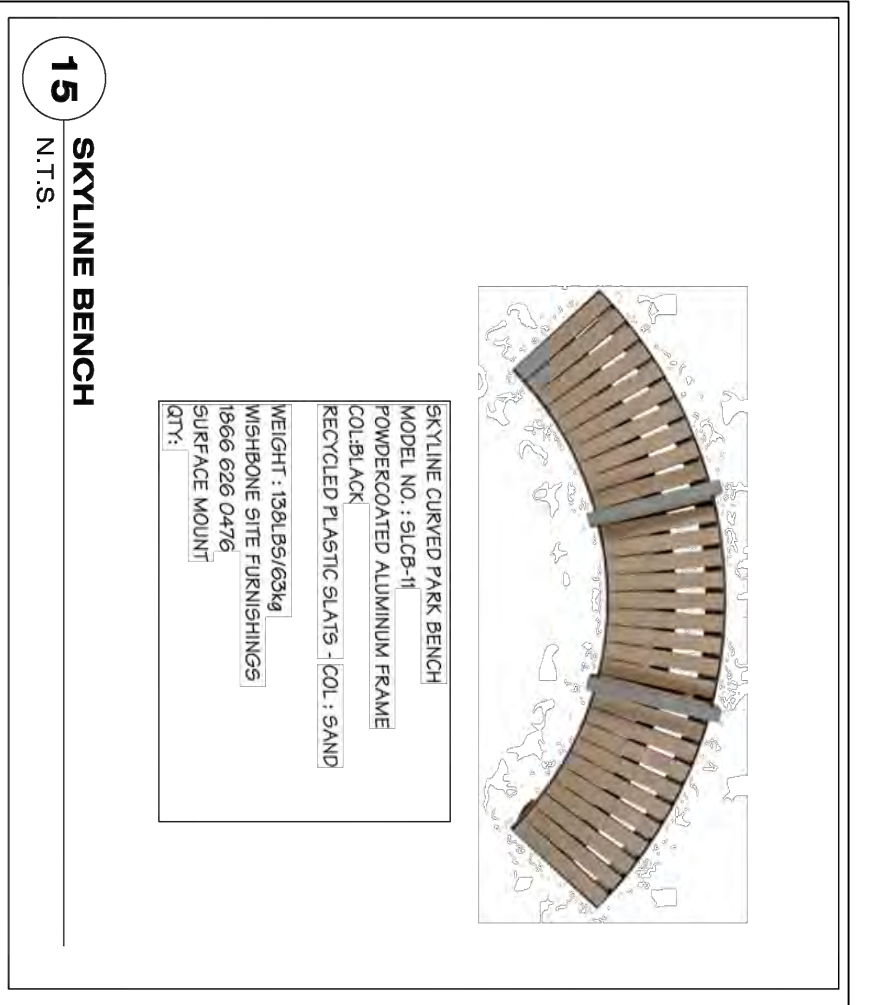
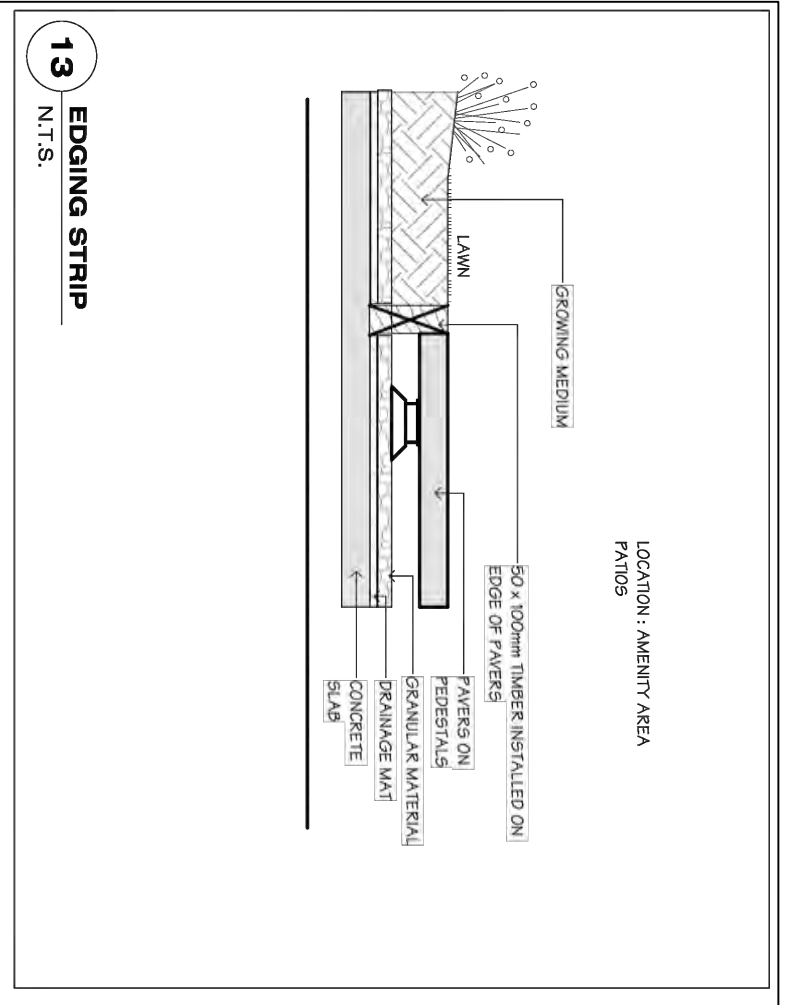
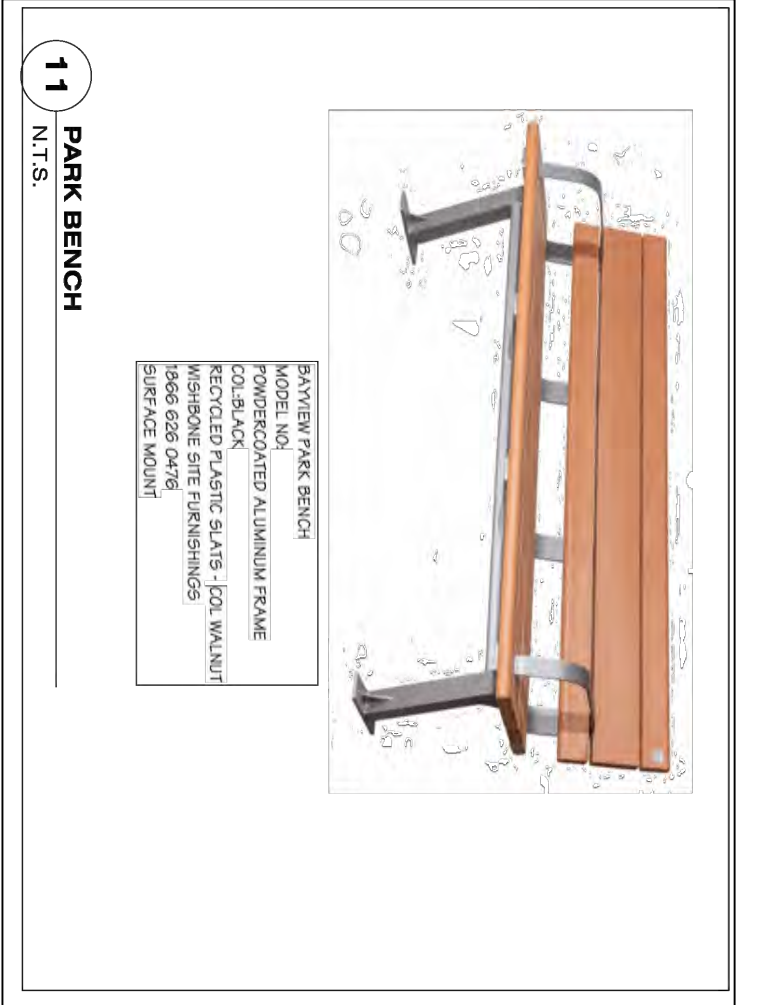
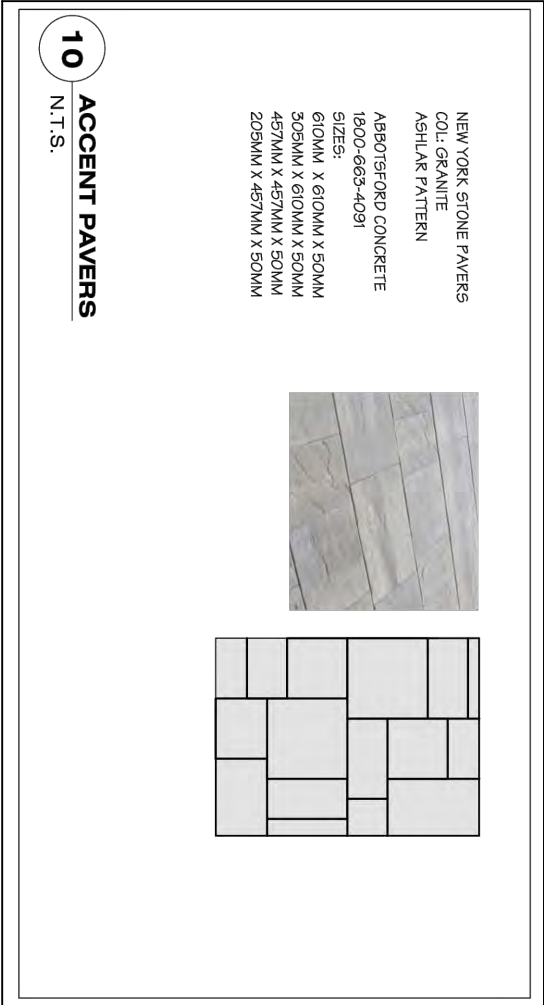
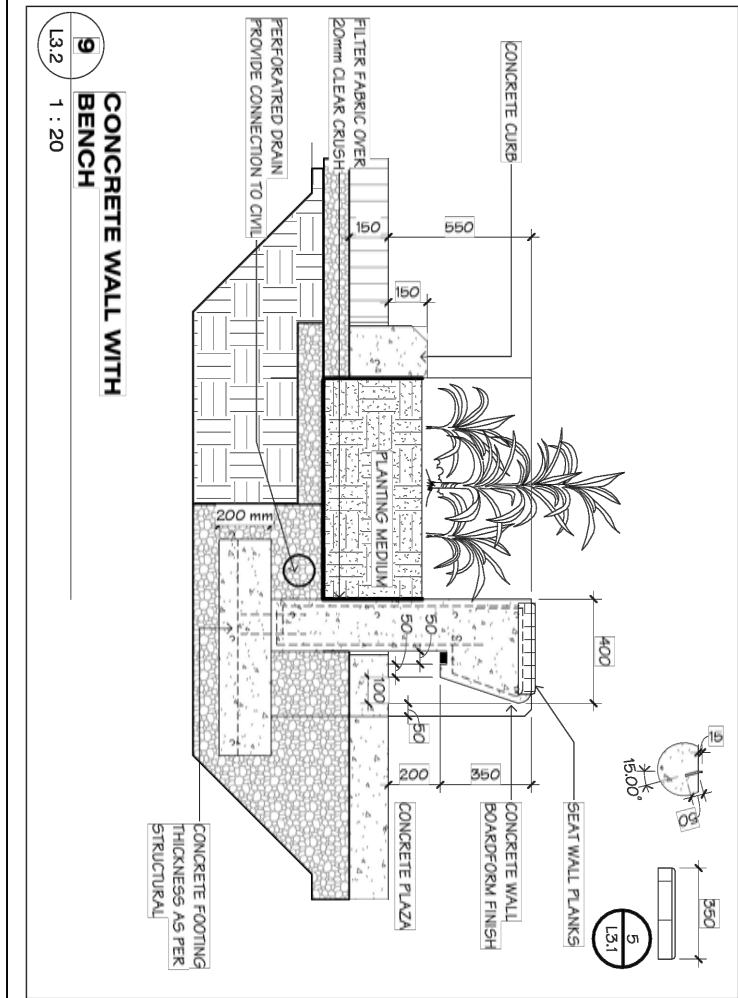
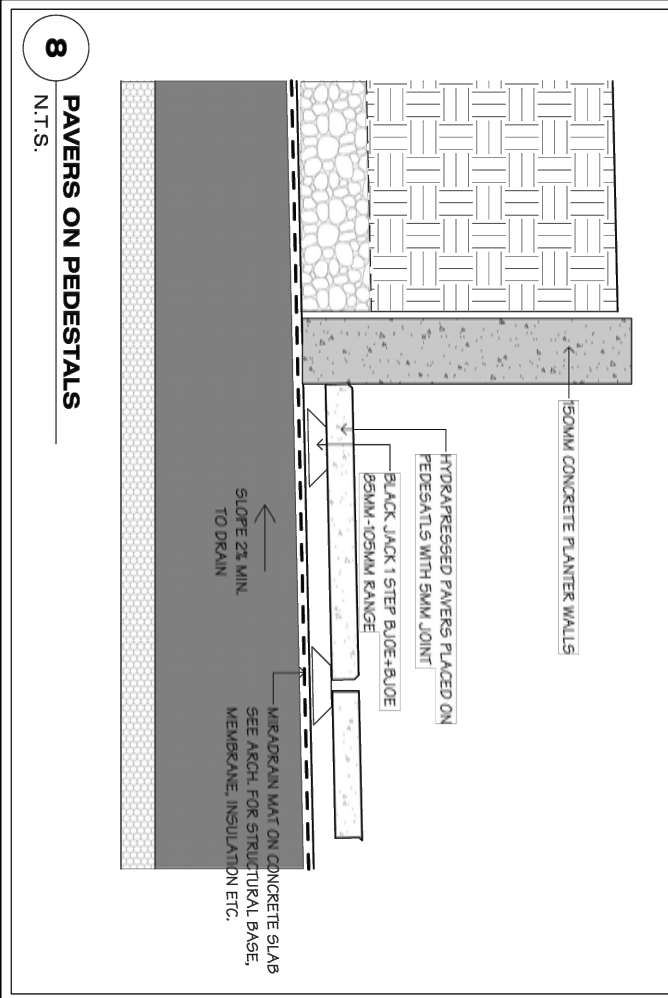
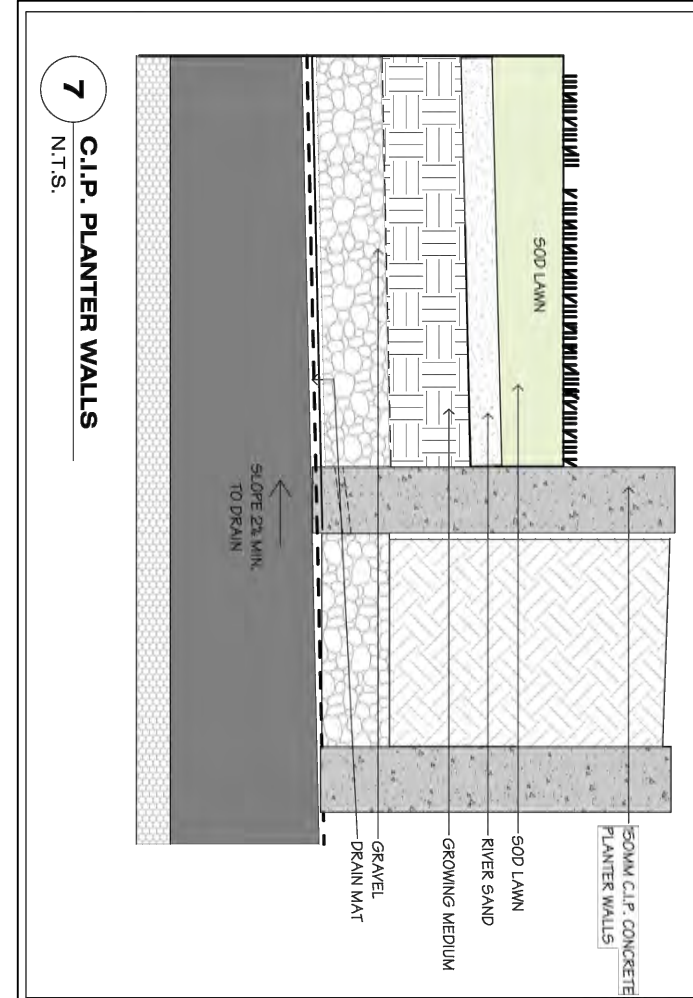
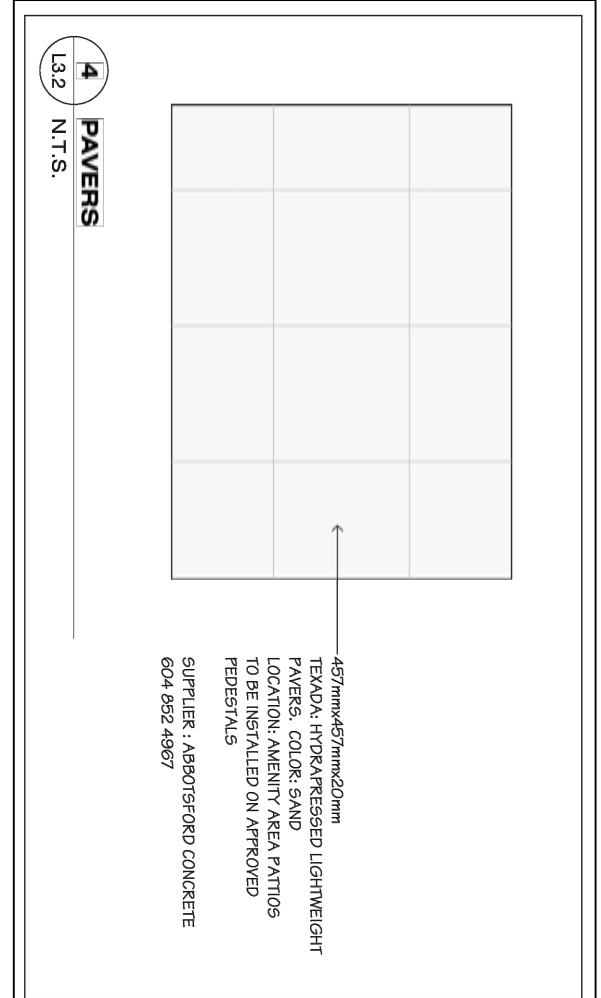
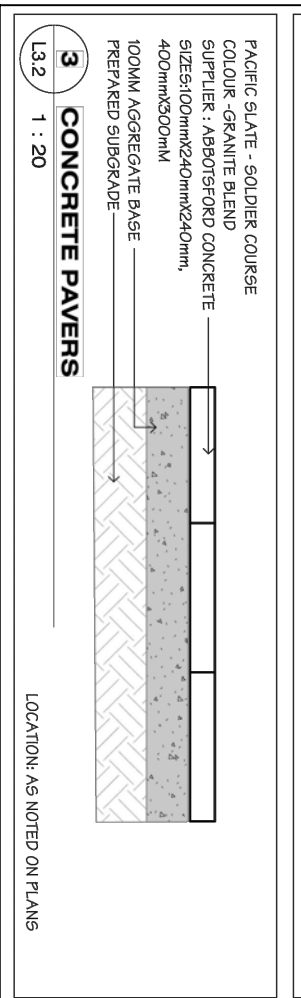
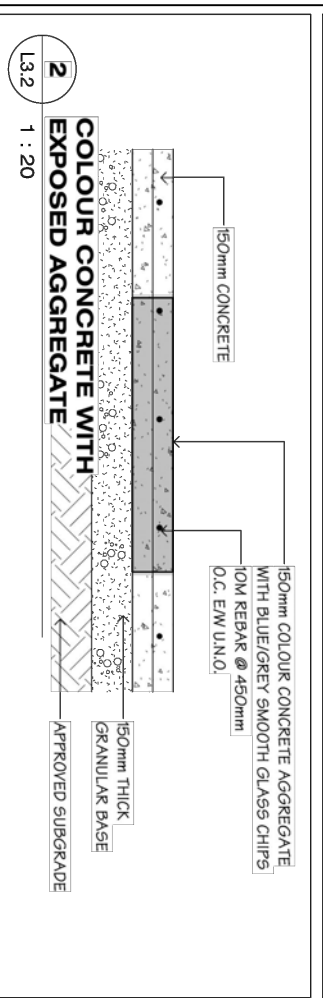
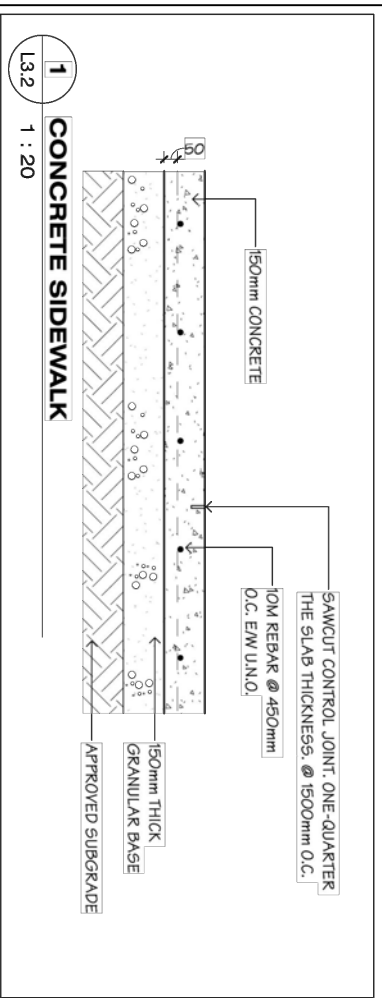
C. KAVOLINAS & ASSOCIATES INC.
 BC.SLA CSLA
 2462 MONDRIE COURT
 ABBOTSFORD, B.C.
 V3B 3E3
 PHONE (604) 857-2376

CLIENT
 MARLEON SCHROEDER
 STATION ONE ARCHITECTS
 9335 YOUNG ROAD
 CHILLIWACK, B.C.
 V2P 4S3
 604-

TITLE
 PLAN VIEW
LANDSCAPE PLAN
ROOFTOP AMENITY
ANCORA RESIDENCES
 511 LILLOETT AVENUE
 HARRISON HOT SPRINGS, B.C.

SCALE	DATE
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APPROV.	AS BUILT

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CKAVOLINAS & ASSOCIATES INC.
BCSIA CSA
2462 JONQUIL COURT
ABBOTSFORD, B.C.
V3B 5B8
PHONE (604) 857-2376

CLIENT
MARLEON SCHROEDER
STATION ONE ARCHITECTS
9335 YOUNG ROAD
CHILLIWACK, B.C.
V2P 4S3
604-

TITLE
PLAN VIEW

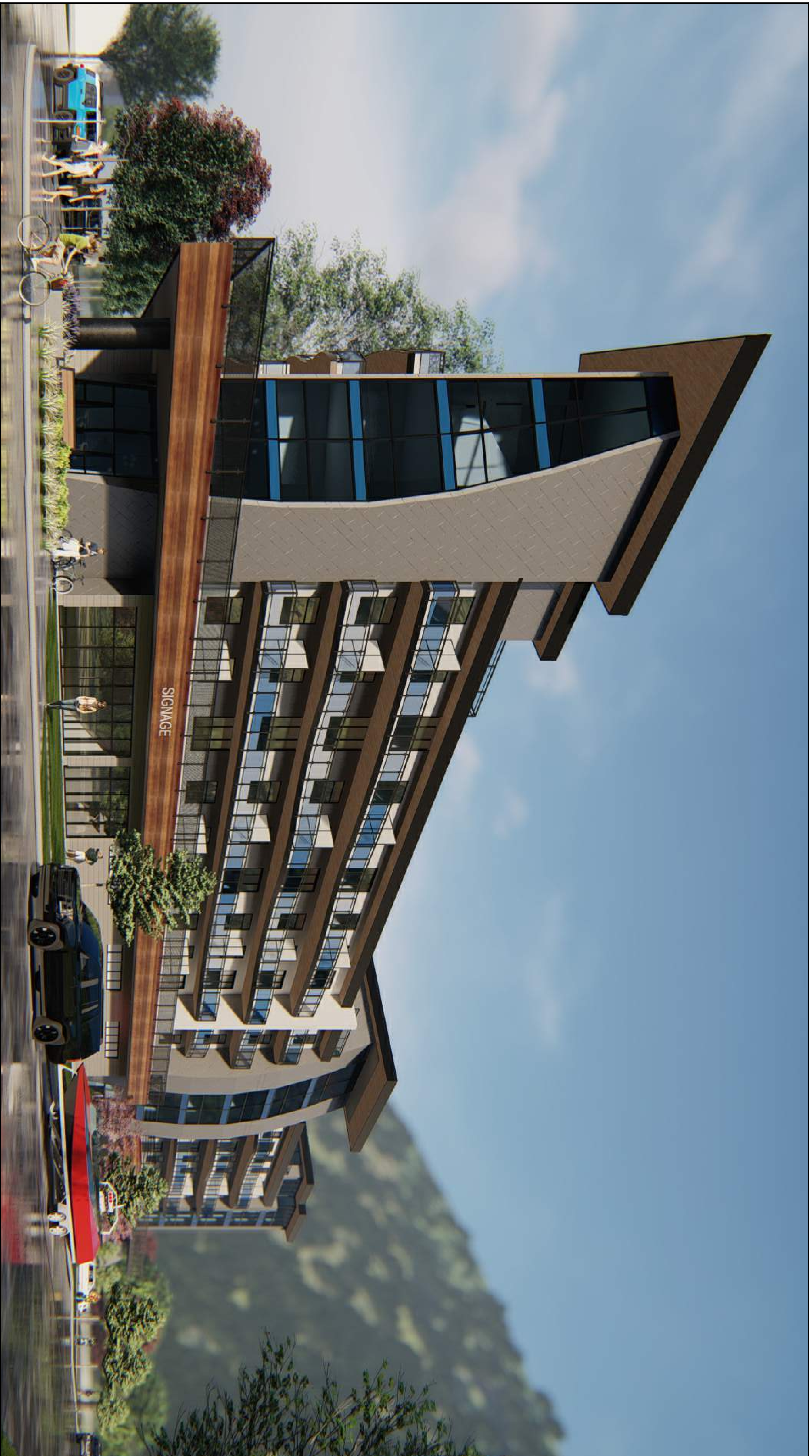
**LANDSCAPE DETAILS
PROPOSED
ANCORA RESIDENCES**
SIT LILLOUETT AVENUE
HARRISON HOT SPRINGS, B.C.

SCALE N.T.S. **DATE** NOV/22

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ENG. CKM **APP'D** AS BUILT

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HARRISON LAKE RESIDENCES

511 LILLOOET AVENUE, HARRISON HOT SPRINGS, BC

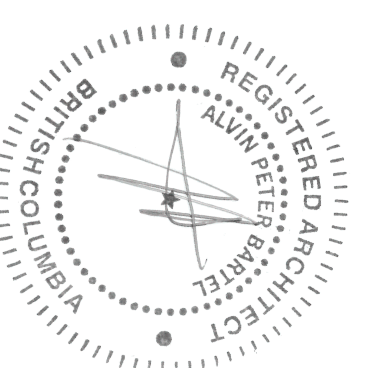
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ANCORA RESIDENCES

511 LILLOOET AVENUE, HARRISON HOT SPRINGS, BC

SCALE
JOB NO. N.T.S.
20070

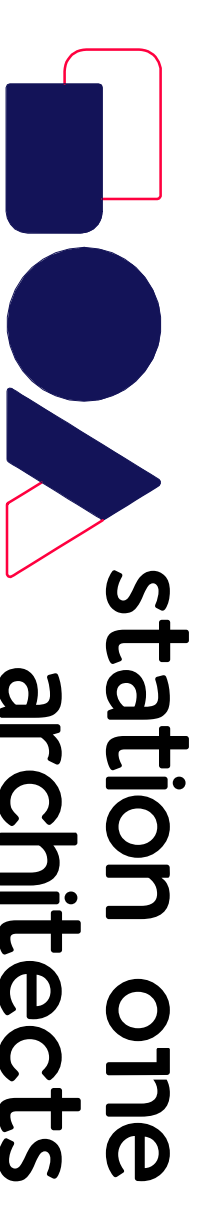
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DP0.0



VIEW FROM LILLOOET AVE
N.T.S.



ALTERNATE VIEW FROM LILLOOET AVE
N.T.S.



VIEW FROM LAKESIDE
N.T.S.



VIEW FROM SPRUCE ST. (LAKESIDE)
N.T.S.

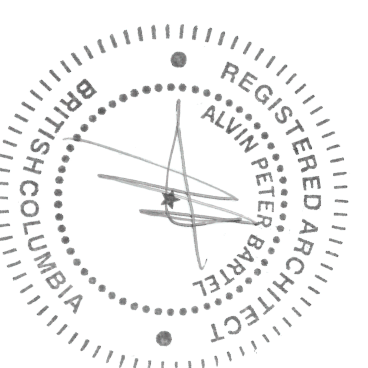
RENDERINGS

ANCORA RESIDENCES

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JOB NO. 20070

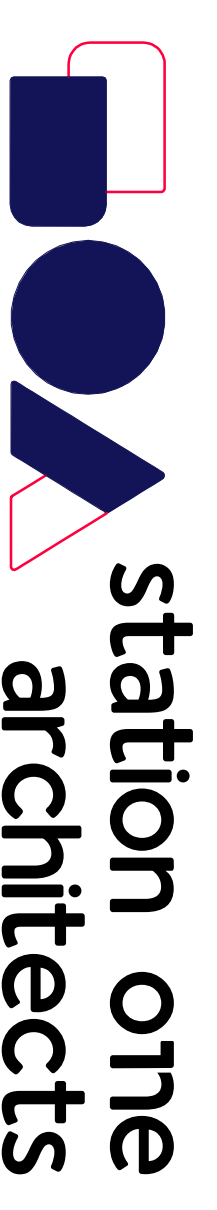
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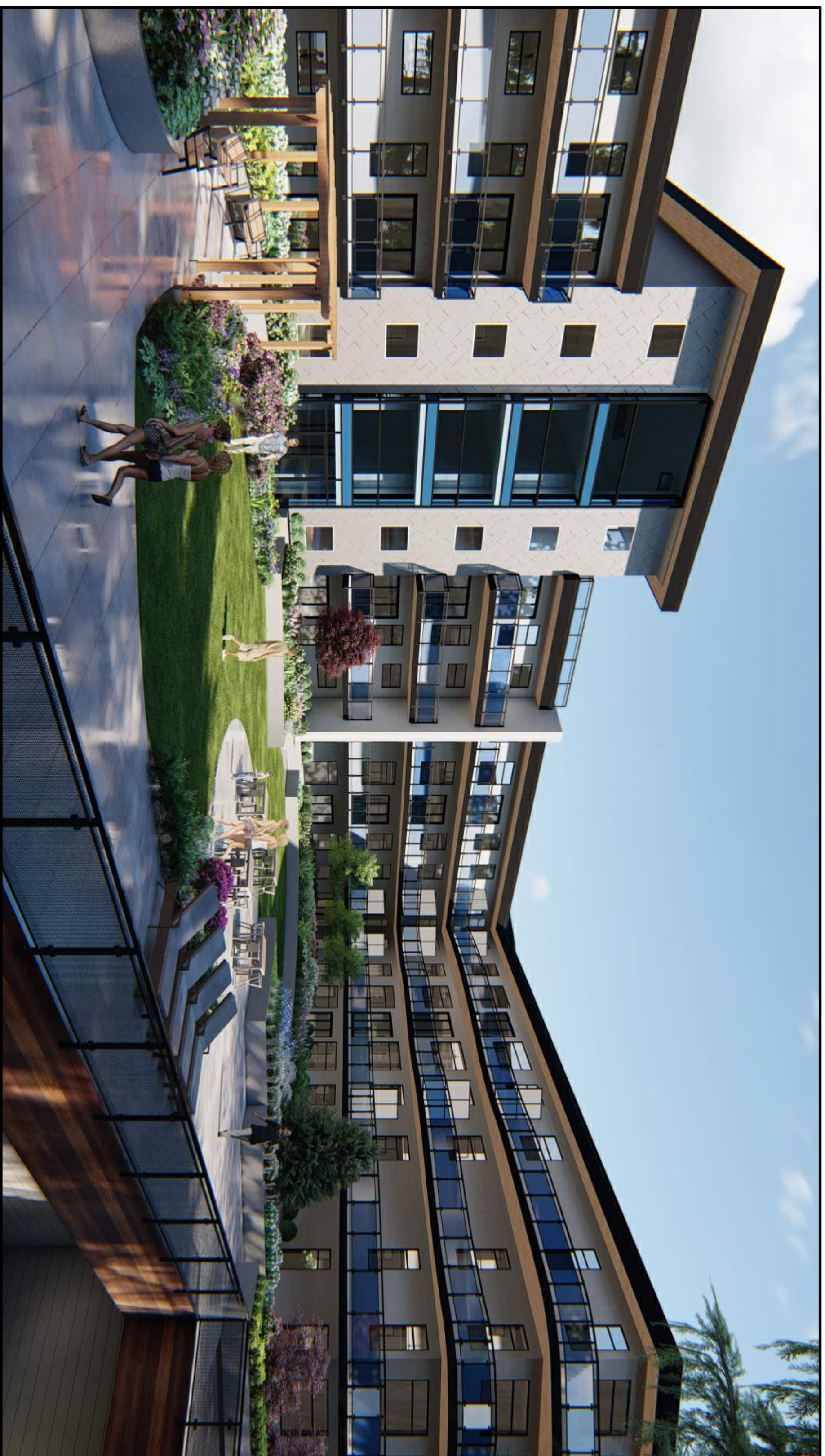
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VIEW OF 2ND FLOOR COURTYARD
N.T.S.



VIEW FROM COURTYARD FACING LAKE
N.T.S.



VIEW FROM BALCONY TO COURTYARD & LAKE
N.T.S.



VIEW FROM BALCONY TO COURTYARD
N.T.S.

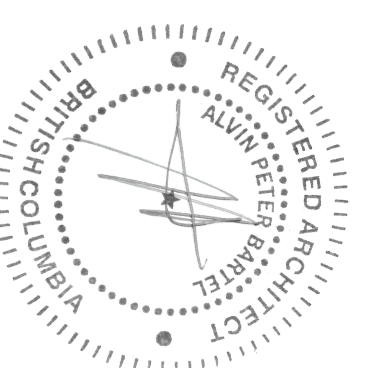
RENDERINGS

ANCORA RESIDENCES

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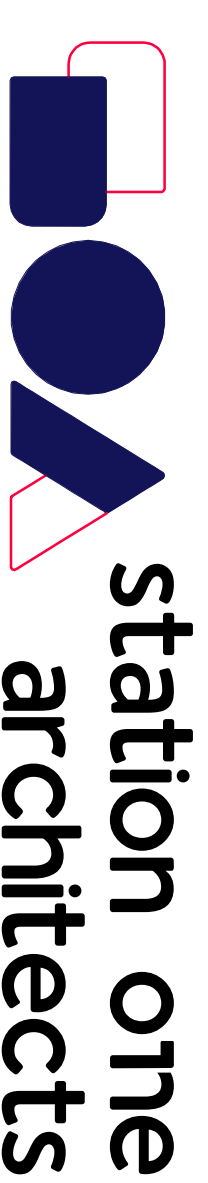
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ALTERNATE VIEW FROM BALCONY TO COURTYARD
N.T.S.



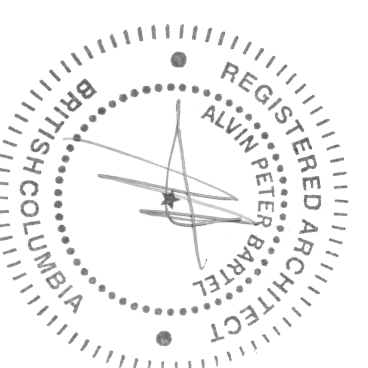
AERIAL VIEW FROM LILLOOFT AVE.
N.T.S.

RENDERINGS & VIEW IMPACT STUDY

ANCORA RESIDENCES

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SCALE N.T.S.
JOB NO. 20070

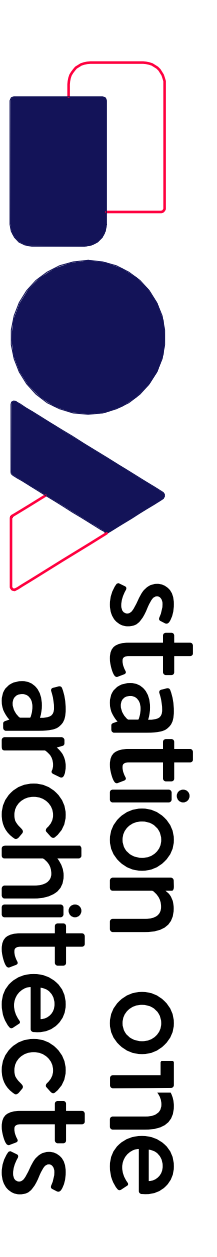


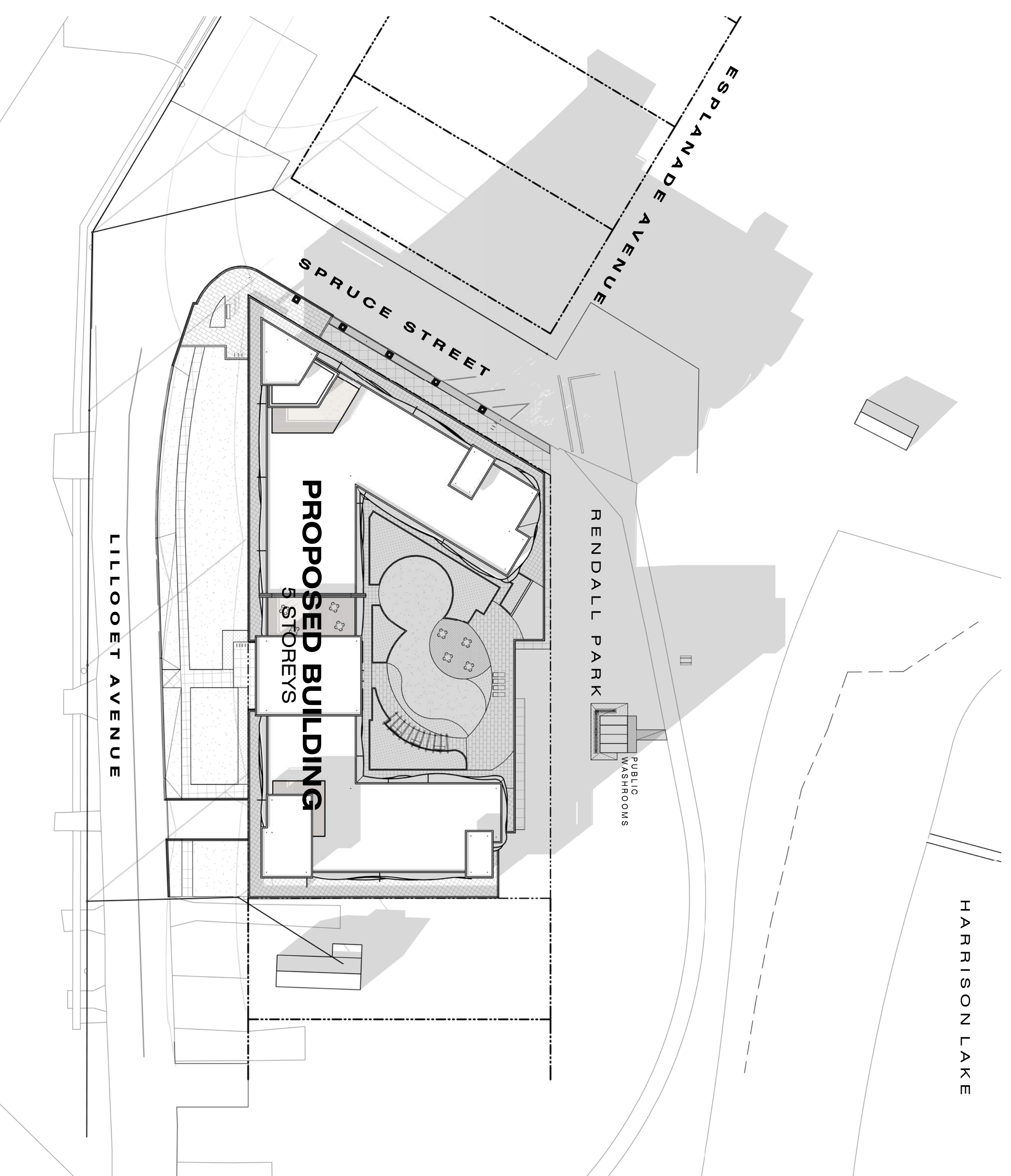
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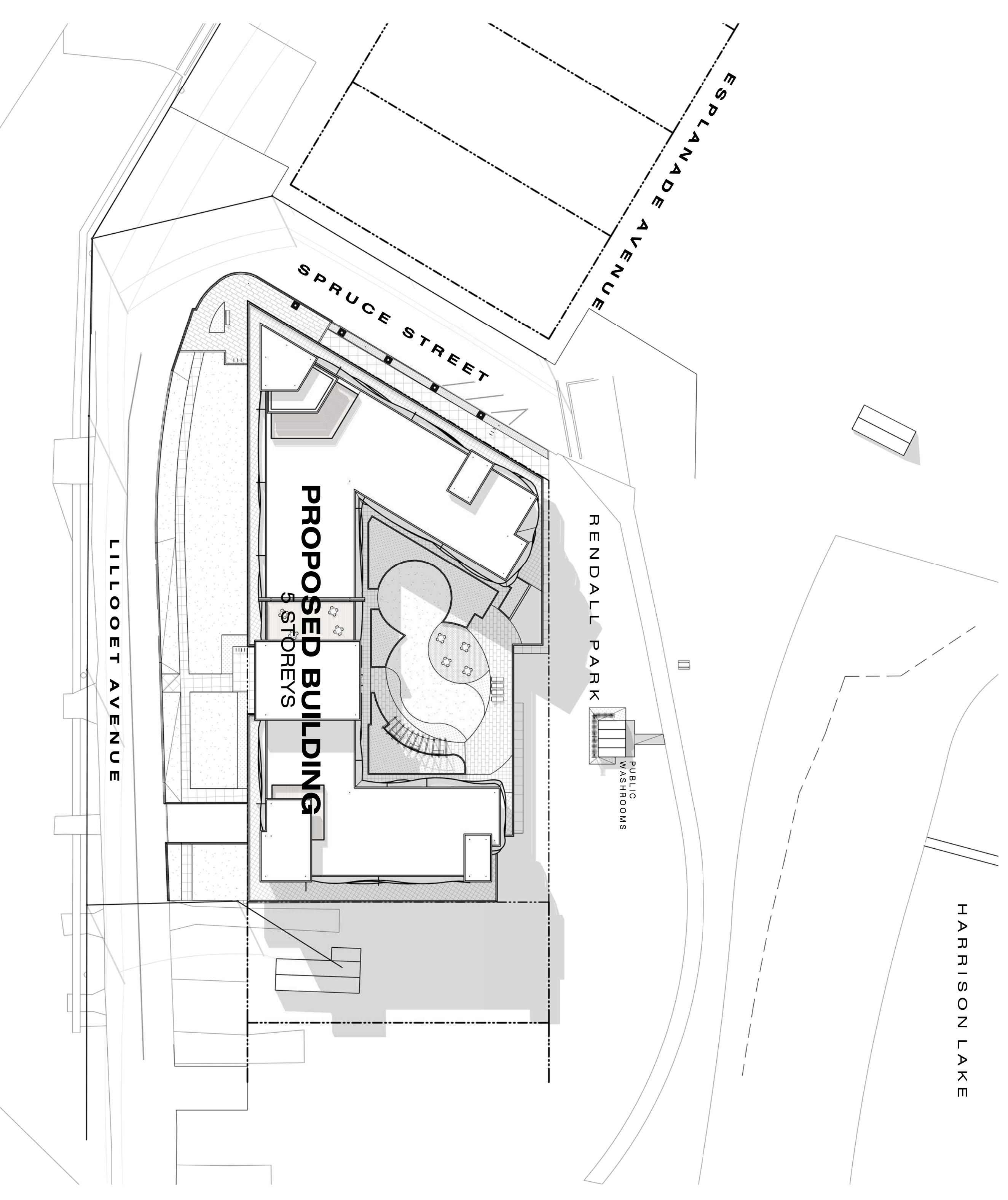
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DP0.3





SHADOW STUDY - 9AM, MARCH 21
1" = 40'-0"
NORTH



SHADOW STUDY - 3PM, MARCH 21
1" = 40'-0"
NORTH

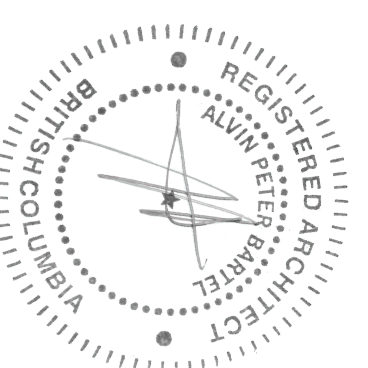
SHADOW STUDY

ANCORA RESIDENCES

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SCALE 1" = 40'-0"
JOB NO. 20070

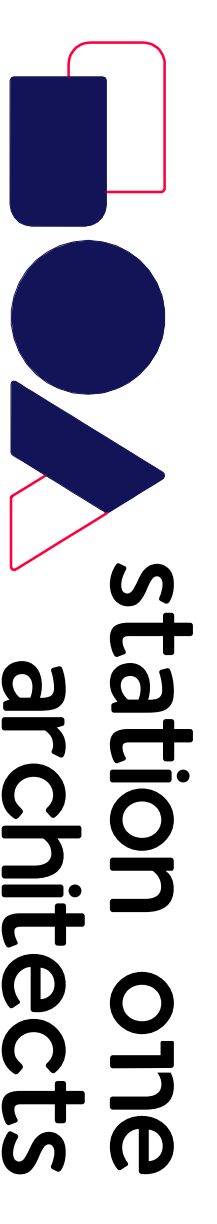
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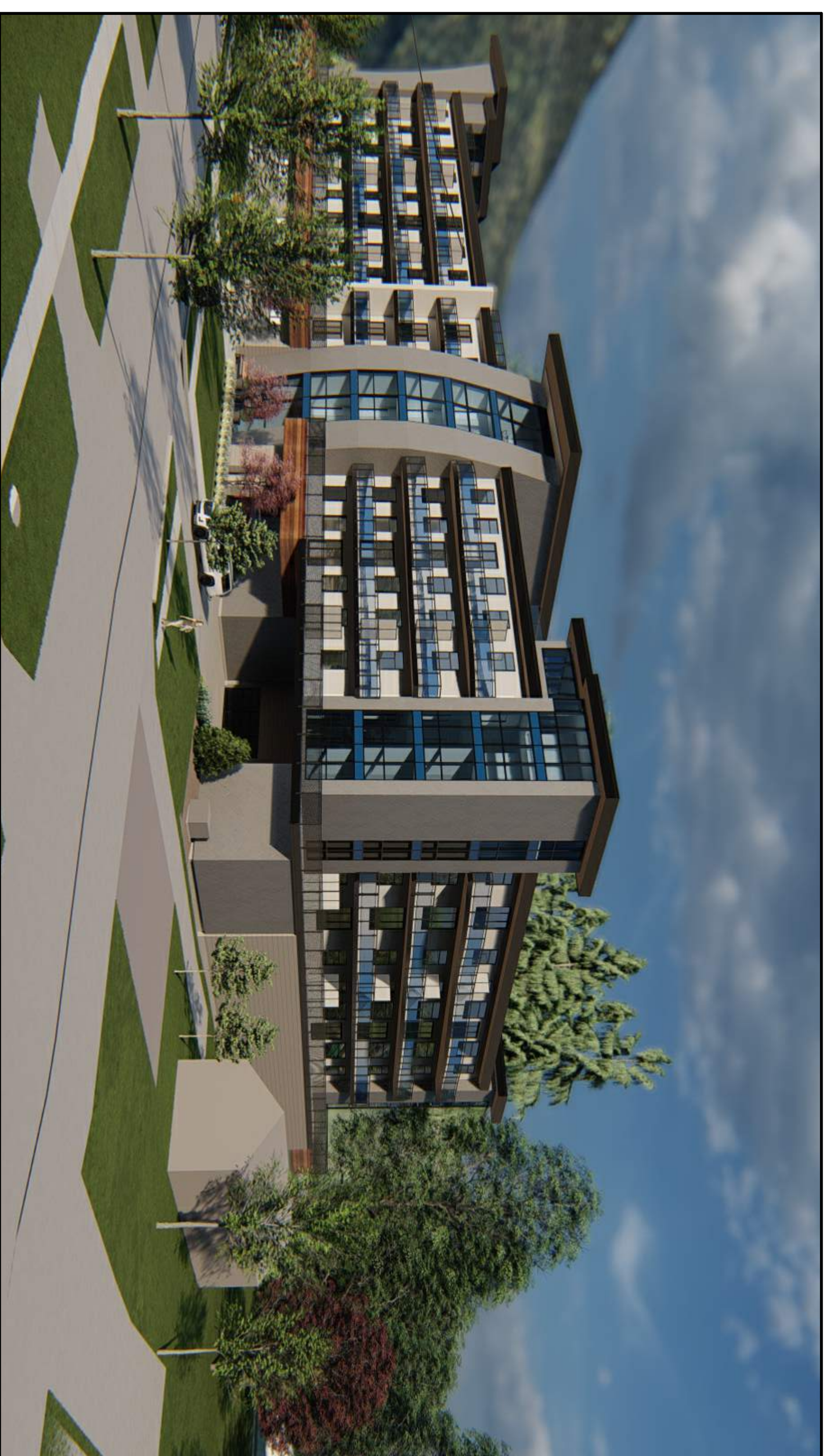
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DP0.4



VIEW FROM SPRUCE ST. & LILLOOET AVE.
N.T.S.



VIEW FROM LILLOOET AVE.
N.T.S.

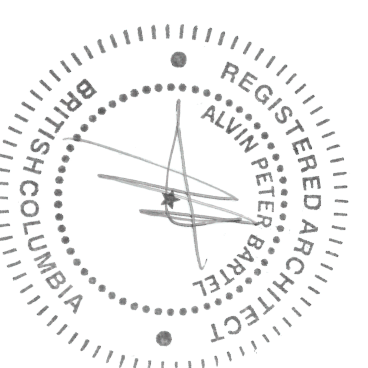
VIEW IMPACT STUDY

ANCORA RESIDENCES

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SCALE N.T.S.
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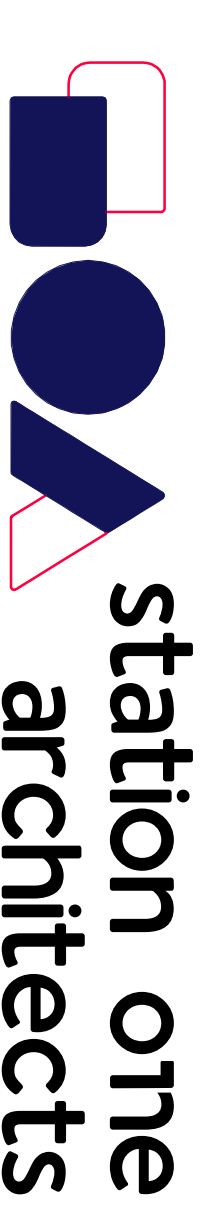
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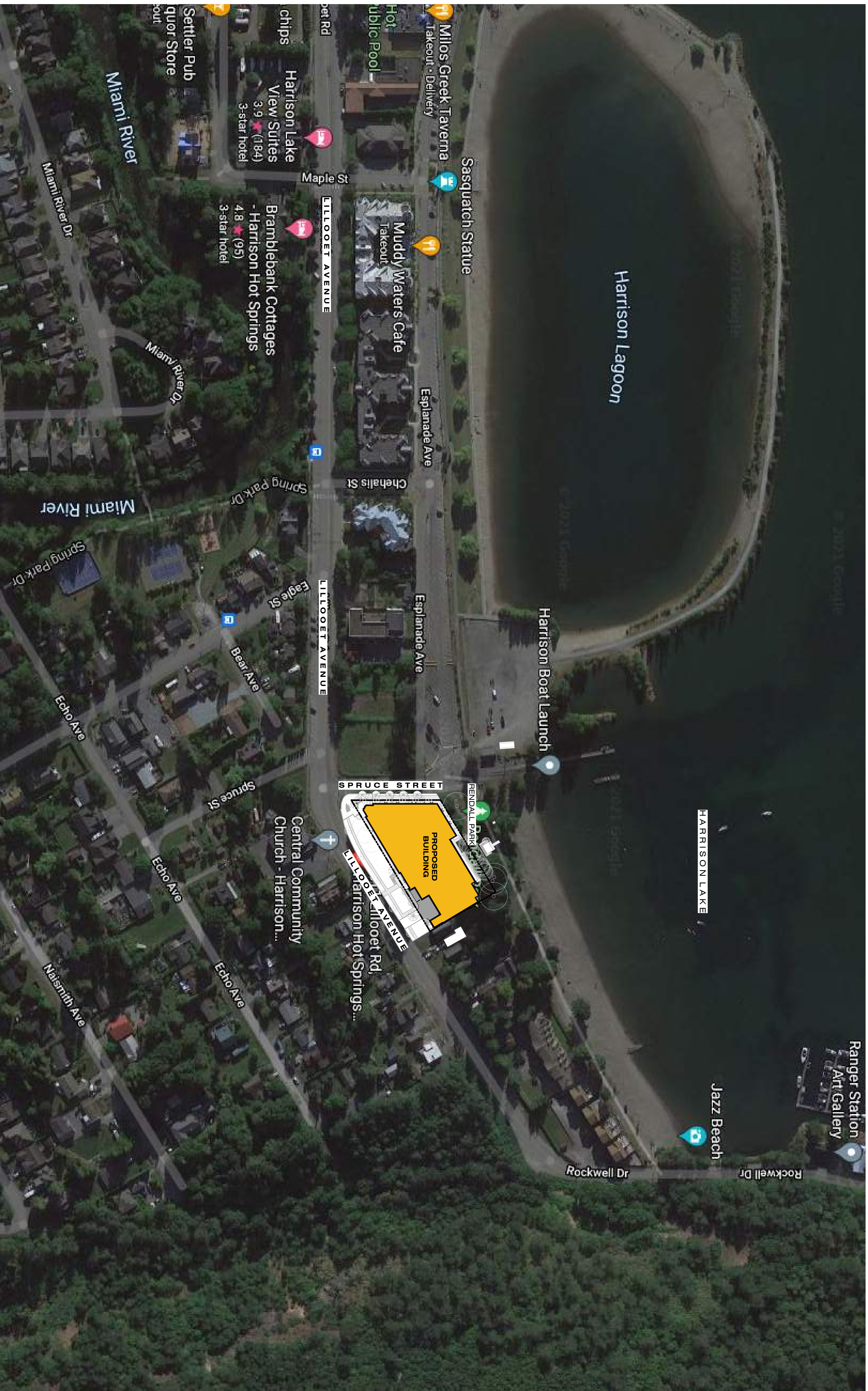
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DP0.5



CONTEXT PLAN

ANCORA RESIDENCES

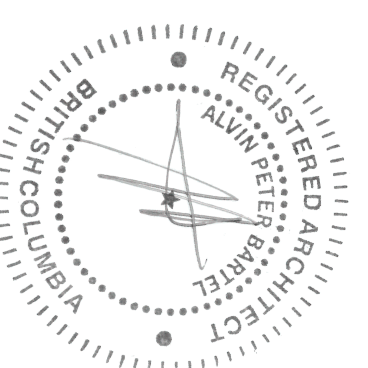
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NORTH

SCALE 1" = 100'-0"
JOB NO. 20070

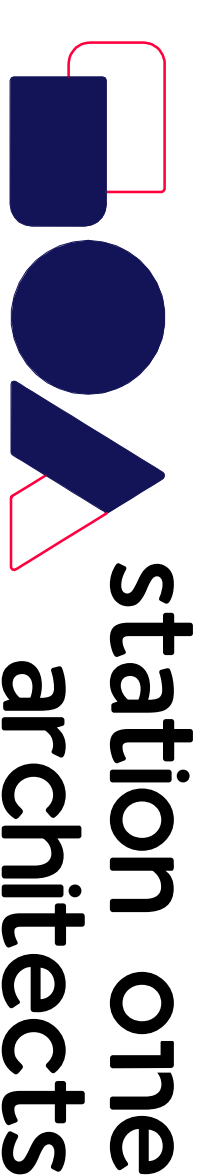
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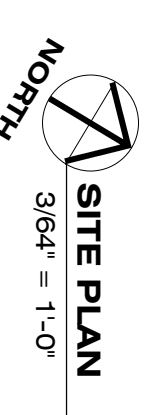
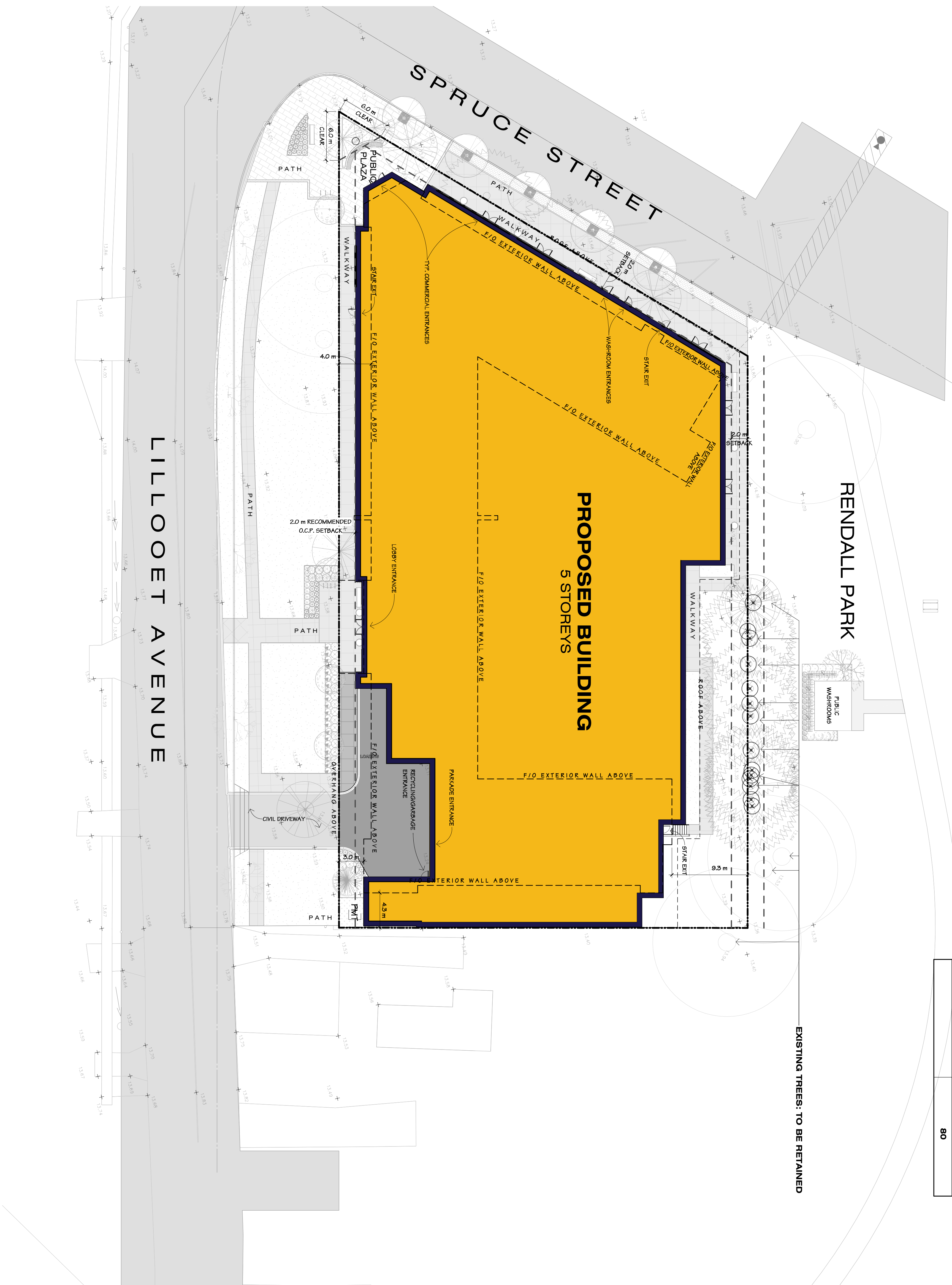
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DP1.0

UNIT SUMMARY	
BEDROOMS	UNITS
1 BED	12
2 BED	60
3 BED	8
	80



SITE PLAN
ANCORA RESIDENCES
511 LILLOOET AVENUE, HARRISON HOT SPRINGS, BC

SCALE: As indicated
JOB NO. 20070

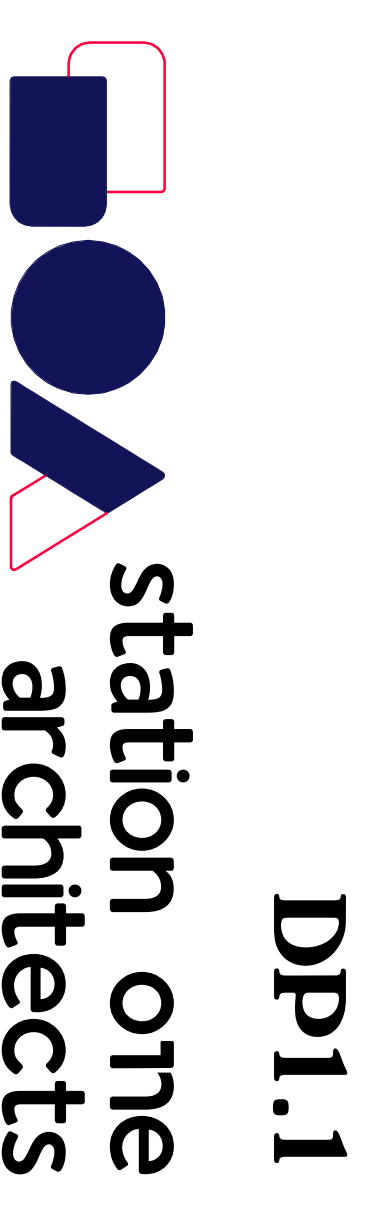
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PROJECT INFORMATION

CIVIC ADDRESS
511 LILLOOET AVENUE, HARRISON HOT SPRINGS, BC

LEGAL DESCRIPTION
LOT 4, SECTION 13, TOWNSHIP 4, RANGE 29 WEST OF THE SIXTH MERIDIAN, N.W.D. PLAN EPP109940

PROPOSED NUMBER OF DWELLINGS
80

SITE AREA
0.43 Ha / 4295 sm / 46,233 sf

ZONING
EXISTING: C1
PROPOSED: C1 (WITH VARIANCES)

BYLAW
ZONING BYLAW FOR THE VILLAGE OF HARRISON HOT SPRINGS, BYLAW NO. 1115, 2017

FLOOR AREAS

PARKADE
P1 : 24 023 SF (2231.8 SM)
P2 : 24 544 SF (2280.2 SM)
TOTAL PARKADE : 48 567 SF (4512 SM)

COMMERCIAL
PERSONAL SERVICE ESTABLISHMENT: 3390 SF (309.4 SM)
RESTAURANT: 2290 SF (212.7 SM) | 60 SEAT MAX. PROPOSED
TOTAL COMMERCIAL 5680 SF (522.1 SM)

OTHER NON-PARKING AREAS PARKADE

RESIDENTIAL FLOORS
P1 : 3698 SF (343.5 SM)
P2 : 4597 SF (421.5 SM)
TOTAL NON-PARKING AREAS : 8235 SF (765 SM)

TOTAL FLOOR AREA (EXCLUDING PARKING)
2ND FLOOR : 20 319 SF (1887.7 SM)
3RD FLOOR : 20 350 SF (1890.6 SM)
4TH FLOOR : 20 351 SF (1890.6 SM)
5TH FLOOR : 20 276 SF (1883.7 SM)
TOTAL RESIDENTIAL FLOORS : 84 180 SF (7820.6 SM)

AMENITY AREA
INDOOR : 4 061.2 SF (377.3 SM)
OUTDOOR : 13 952.1 SF (1296.2 SM)
TOTAL AMENITY AREA : 18 013.3 SF (1673.5 SM)

ZONING BYLAW REVIEW

PART 3.0 GENERAL COMPLIANCE, PROHIBITIONS AND REGULATIONS

3.6 (b) ARCHITECTURAL PROJECTIONS INTO SETBACKS

- ARCHITECTURAL FEATURES MUST NOT PROJECT MORE THAN 0.6 m
- ARCHITECTURAL FEATURE PROJECTIONS MUST NOT EXCEED 40% OF FACADE
- EXTERIOR STAIRS MAY BE LOCATED WITHIN A FRONT, EXTERIOR SIDE, OR REAR SETBACK
- ACCESSIBLE STRUCTURES/FACILITIES MAY BE LOCATED WITHIN SETBACKS IF NOT CLOSER THAN 0.3 m TO ANY SIDE LOT LINE
- UNCOVERED PATIOS AND TERRACES NO GREATER THAN 0.6 m ABOVE GRADE MAY BE LOCATED WITHIN SETBACKS

3.8 SITE LINE REQUIREMENTS AT INTERSECTIONS

a) NO VISUAL OBSTRUCTIONS PERMITTED ABOVE 0.3 m ABOVE HIGHWAY GRADE WITHIN A 6 m TRIANGULAR AREA ON LOT

3.11 FLOOD CONTROL REQUIREMENTS
b) FLOOD LEVEL ELEVATION IS 14.53 m FOR COMMERCIAL AND RESIDENTIAL

PART 7.0 ZONING REGULATIONS

7.1.2 COMMERCIAL USES

PROPOSED: COMMERCIAL AND APARTMENTS PROPOSED

PERMITTED USES NONE PROPOSED

ACCESSORY USES NONE PROPOSED

MIN. LOT SIZE IS 464 sm 4295.2 sm

SUBDIVISION FOR A RELATIVE IS 1 Ha. NOT APPLICABLE

FLOOR AREA RATIO (FAR) IS 1.5, OR 1.75 WITH O.C.P. DENSITY BONUS (EXCLUDES STAIRS, ELEV. MECH, ELEC. & AMENITY SPACES) (822.1 + 7120.5 sm) 4295.2 sm = 1.78 (VARIANCE REQUIRED)

MIN. LOT WIDTH IS 20 m 50.29 m

MAX. LOT COVERAGE IS 75% 3303.4 sm / 4295.2 sm = (76.9%) (VARIANCE REQUIRED)

MIN. FRONT SETBACK (SPRUCE ST) IS 0 m 2.0 m AT 1ST FLOOR, P1 & P2; 3.0 m 2ND FLOOR & ABOVE

MIN. REAR SETBACK IS 0 m 0 m ON 1ST FLOOR, P1 & P2; 4.1 m 2ND FLOOR & ABOVE

MIN. INT. SIDE SETBACK (LILLOOET AVE) IS 0 m 2.0 m AT 1ST FLOOR, P1 & P2; 2.0 m 2ND FLOOR & ABOVE

MIN. EXTERIOR SIDE SETBACK IS 0 m 2.0 m ON 1ST FLOOR; 1.5 m 2ND FLOOR & ABOVE

MAX. HEIGHT IS 15 m 22.09 m ARCHITECTURAL FEATURES (VARIANCE REQUIRED)
17.95 m MAIN ROOF

PARKING BYLAW REVIEW

PART 6.0 PARKING AND LOADING REQUIREMENTS

PARKING REQUIRED:

RESIDENTIAL: 80 UNITS X 1.25 = 100 PARKING STALLS (INCLUDING VISITOR PARKING)

COMMERCIAL: PERSONAL SERVICES ESTABLISHMENT: 309.3 S.M. / 28 = 11.05 = 11 STALLS
RESTAURANT: 60 SEATS / 3 = 20 STALLS
TOTAL: 31 STALLS

TOTAL PARKING PROVIDED: 131 STALLS

PARKING PROVIDED: 131 STALLS
142 PERIOD 66 STALLS
P1 FLOOR: 66 STALLS
TOTAL PARKING PROVIDED: 132 STALLS (1 EXTRA)

OFF-STREET PARKING GENERAL REQUIREMENTS
BICYCLE PARKING AT MINIMUM RATE OF 20% OF REQUIRED VEHICLE PARKING
REQUIRED: 20% X 131 = 26 STALLS
PROVIDED: 26 STALLS

MIN. 1 ELECTRIC VEHICLE CHARGER REQUIRED PROVIDED: 1 ELECTRIC VEHICLE CHARGER

ACCESSIBLE PARKING STALLS REQUIRED: REQUIRED FOR 136 PARKING STALLS: 8 ACCESSIBLE STALLS
PROVIDED: 8 ACCESSIBLE STALLS

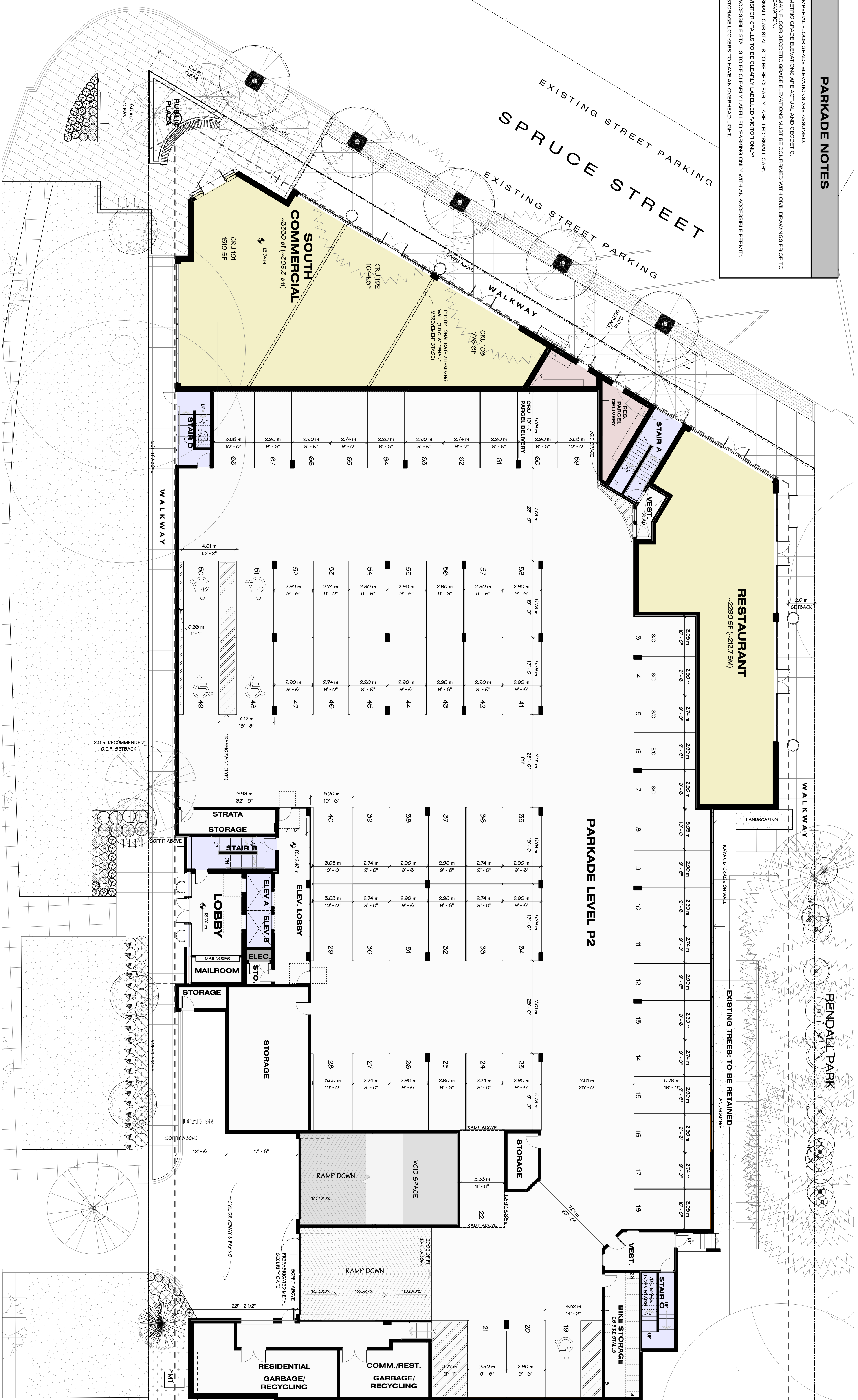
LOADING ZONE: REQUIRED: 1 LOADING ZONE
PROVIDED: 1 LOADING ZONE

LOADING ZONE:

REQUIRED: 1 LOADING ZONE
PROVIDED: 1 LOADING ZONE

PARKADE NOTES

1. IMPERIAL FLOOR GRADE ELEVATIONS ARE ASSUMED.
2. METRIC GRADE ELEVATIONS ARE ACTUAL AND GEODETIC.
3. MAIN FLOOR GEODETIC GRADE ELEVATIONS MUST BE CORRELATED WITH CIVIL DRAWINGS PRIOR TO EXCAVATION.
4. SMALL CAR STALLS TO BE CLEARLY LABELLED SMALL CAR.
5. VISITOR STALLS TO BE CLEARLY LABELLED VISITOR ONLY.
6. ACCESSIBLE STALLS TO BE CLEARLY LABELLED 'PARKING ONLY' WITH AN ACCESSIBLE PERMIT.
7. STORAGE LOCKERS TO HAVE AN OVERHEAD LIGHT.



1ST FLOOR & P2 PLAN

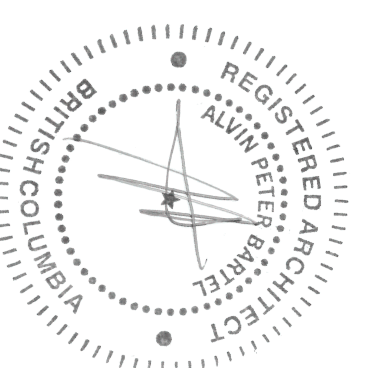
ANCORA RESIDENCES

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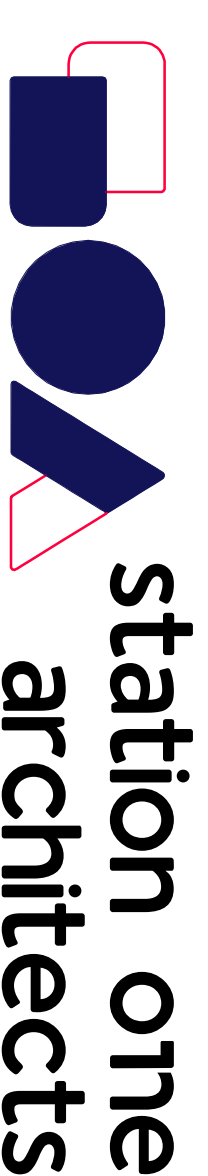
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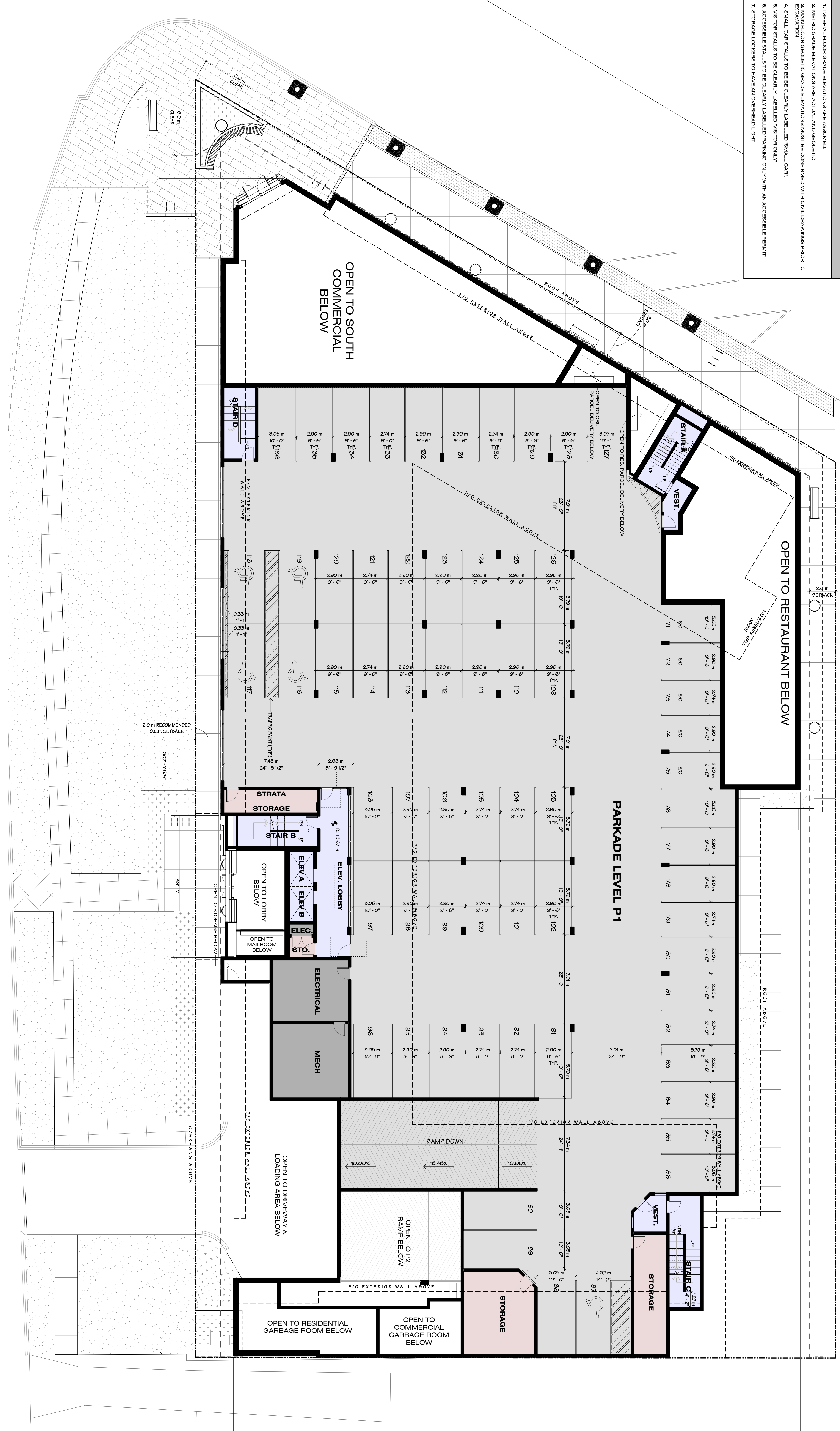


DP2.1

LILLOOET AVENUE

PARKADE NOTES

1. IMPERIAL FLOOR GRADE ELEVATIONS ARE ASSUMED.
2. METRIC GRADE ELEVATIONS ARE ACTUAL AND GEODETIC.
3. MAIN FLOOR GEODETIC GRADE ELEVATIONS MUST BE CONFIRMED WITH CIVIL DRAWINGS PRIOR TO EXCAVATION.
4. SMALL CAR STALLS TO BE CLEARLY LABELLED SMALL CAR.
5. VISITOR STALLS TO BE CLEARLY LABELLED VISITOR ONLY.
6. ACCESSIBLE STALLS TO BE CLEARLY LABELLED PARKING ONLY WITH AN ACCESSIBLE PERMIT.
7. STORAGE LOCKERS TO HAVE AN OVERHEAD LIGHT.



PARKADE LEVEL P1

P1 PLAN

ANCORA RESIDENCES
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SCALE: As indicated
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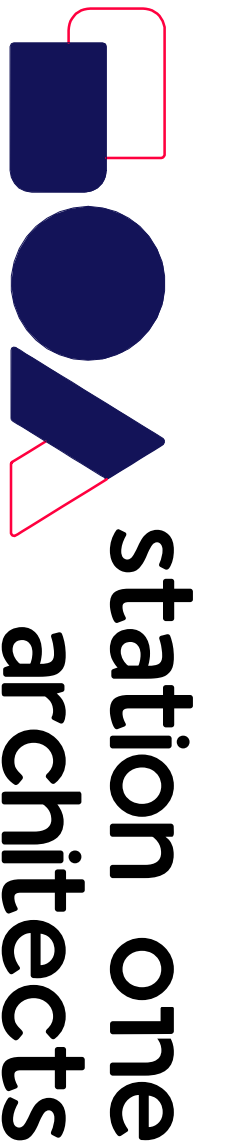
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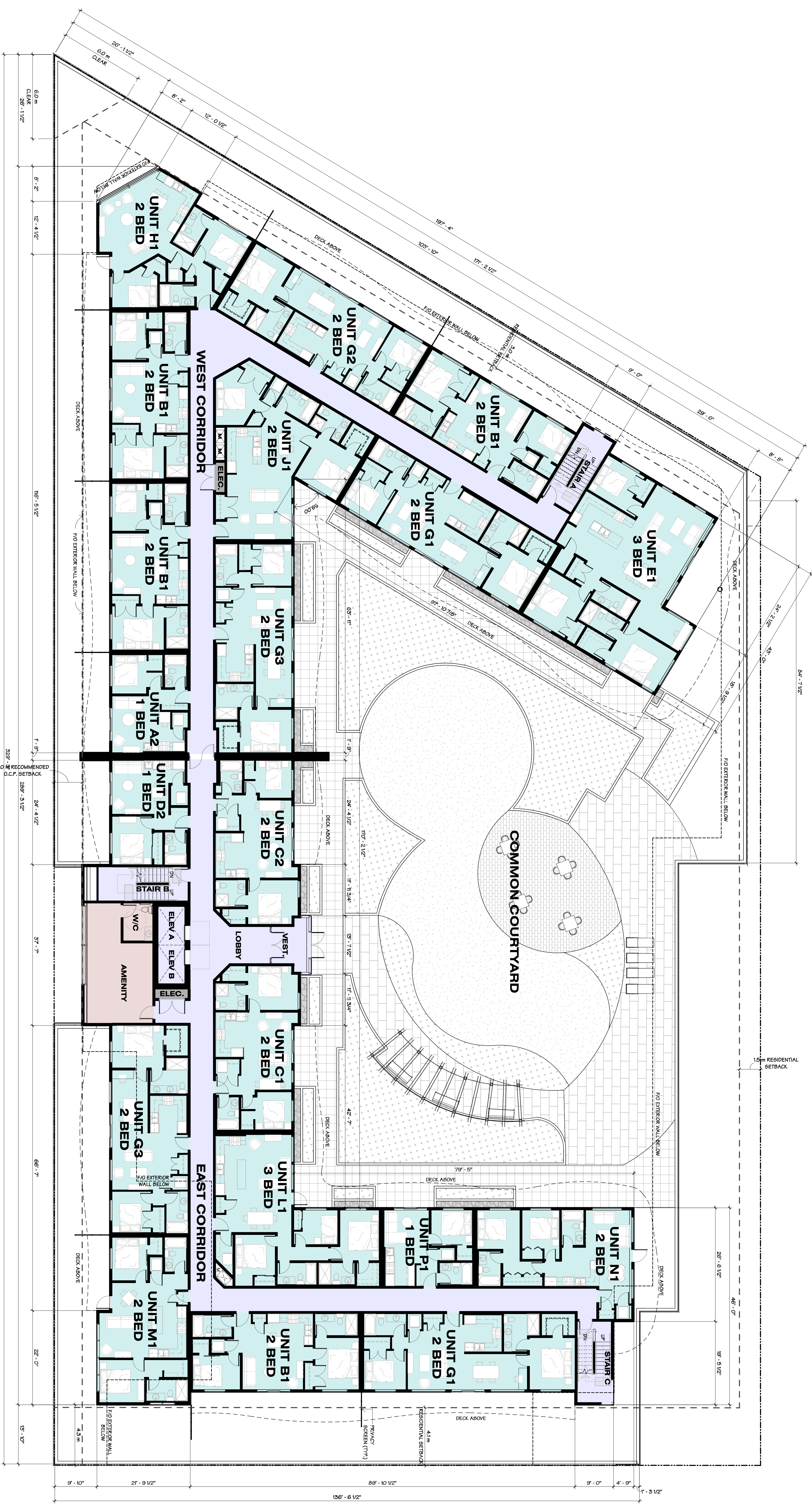
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DP2.2



2ND FLOOR PLAN

ANCORA RESIDENCES



511 LILLOOFT AVENUE, HARRISON HOT SPRINGS, BC

SCALE 3/32" = 1'-0"
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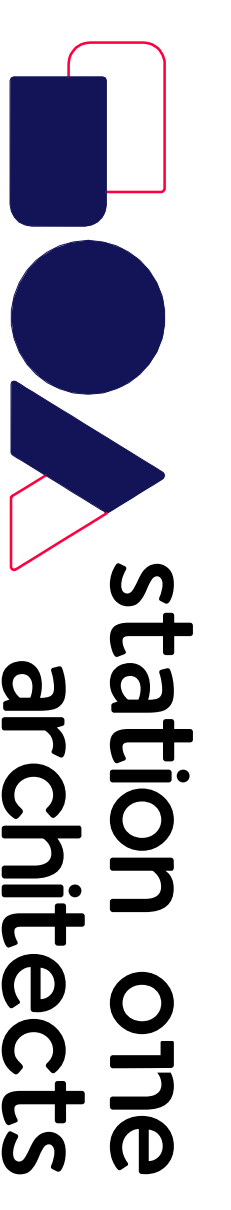
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DP2.3



3RD FLOOR PLAN

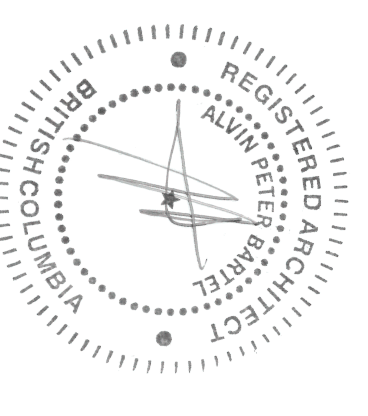
ANCORA RESIDENCES



511 LILLOOET AVENUE, HARRISON HOT SPRINGS, BC

SCALE 3/32" = 1'-0"
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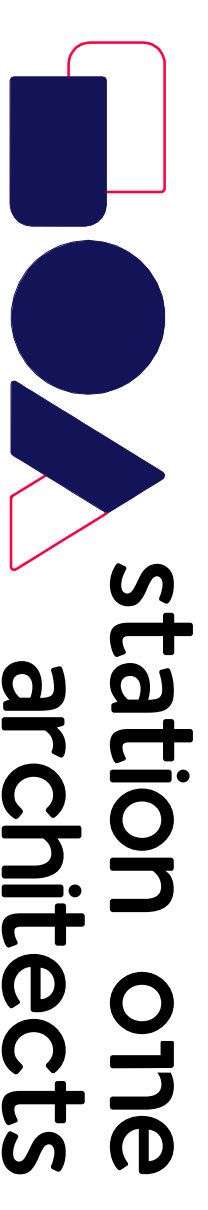
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4TH FLOOR PLAN

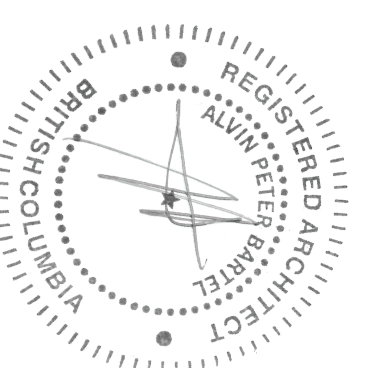
ANCORA RESIDENCES



511 LILLOOET AVENUE, HARRISON HOT SPRINGS, BC

SCALE 3/32" = 1'-0"
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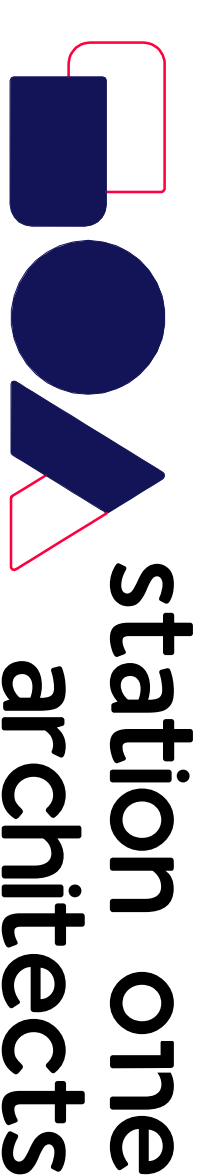
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5TH FLOOR PLAN

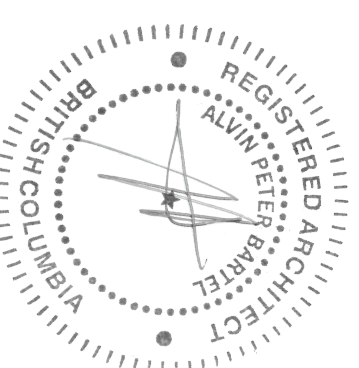
ANCORA RESIDENCES



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SCALE 3/32" = 1'-0"
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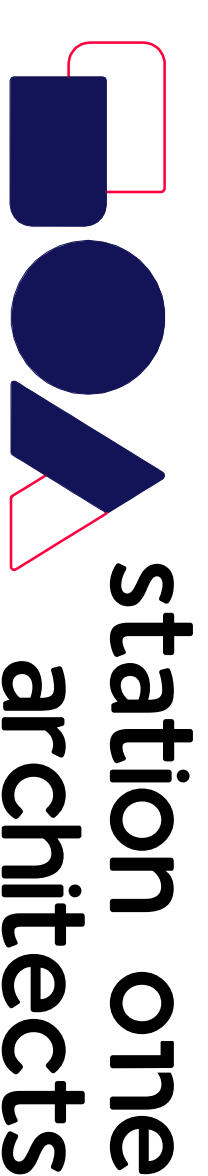
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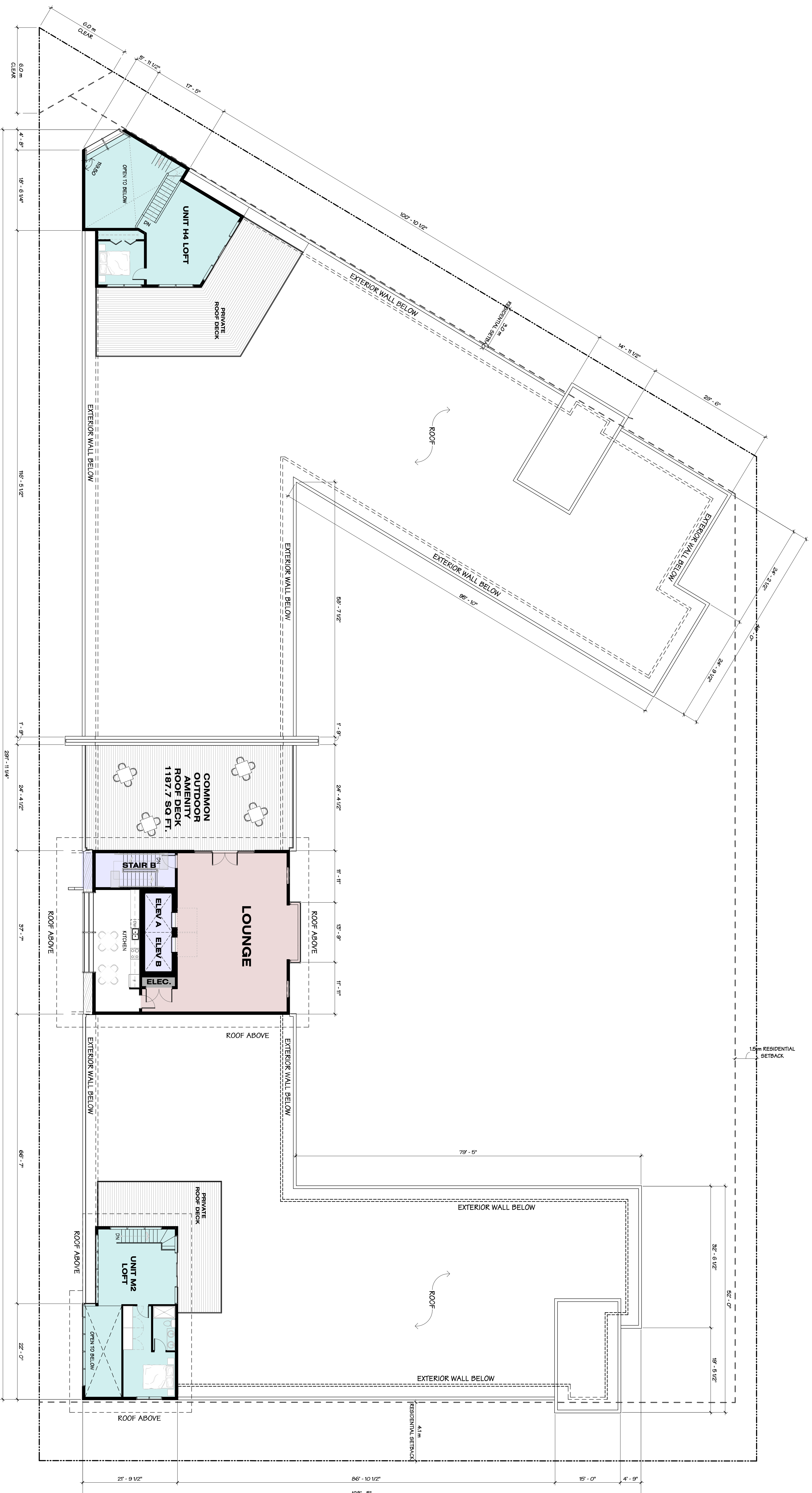
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LOFT FLOOR PLAN

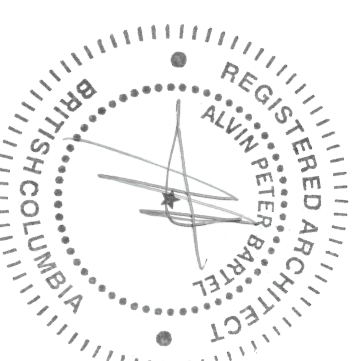
ANCORA RESIDENCES



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SCALE 3/32" = 1'-0"
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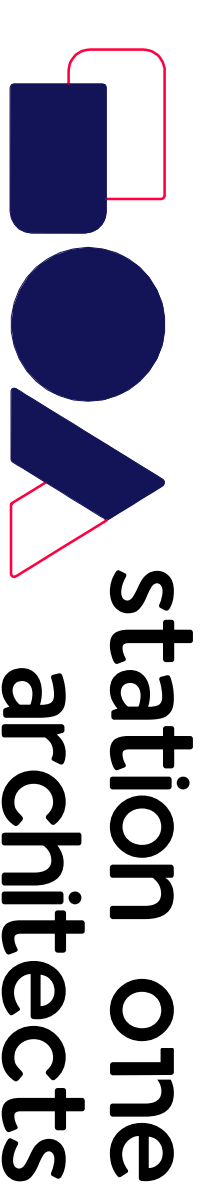
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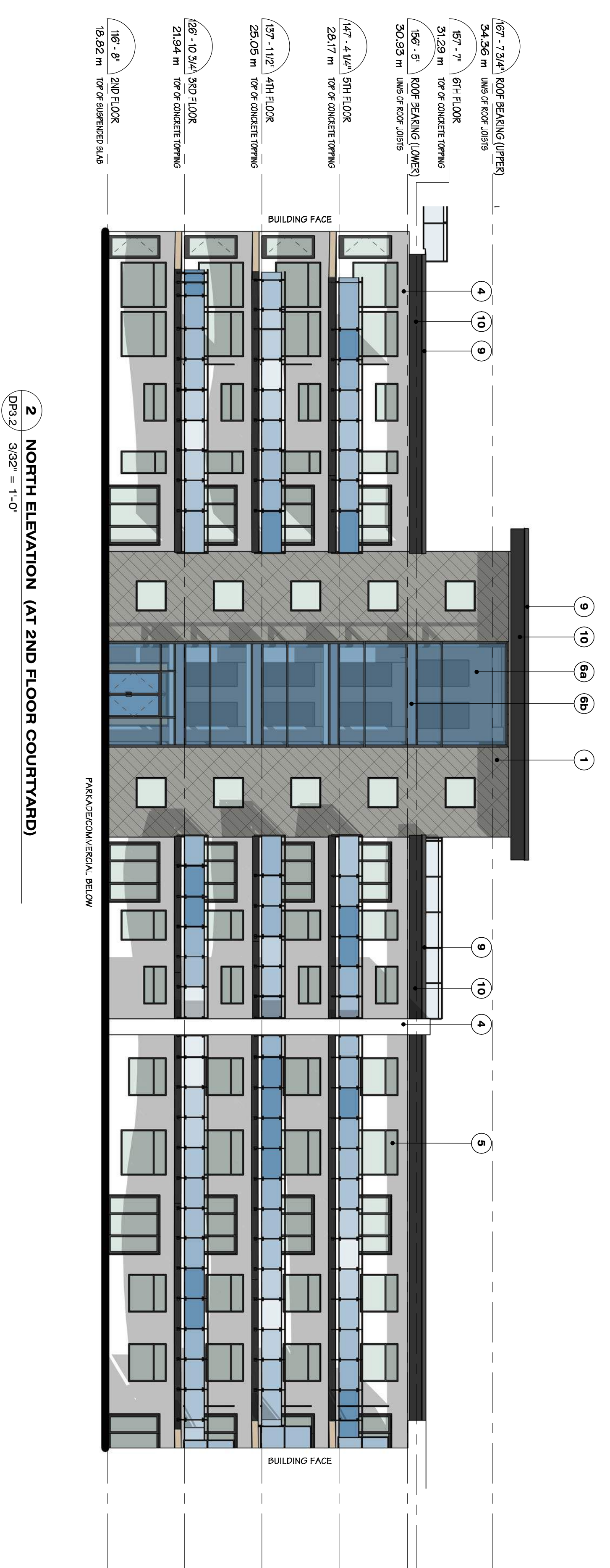
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DP2.7



1 NORTH ELEVATION
DP3.2 3/32" = 1'-0"



2 NORTH ELEVATION (AT 2ND FLOOR COURTYARD)
DP3.2 3/32" = 1'-0"

EXTERIOR FINISHES

- 1 - WALL - METAL DIAGONAL PANELS, 12' x 36' @ 45 DEGREES
FACTORY METAL, RECTANGULAR, METAL CORNER
METAL WINDOW TRIMS TO MATCH
- 2 - WALL - METAL HORIZONTAL PANELS, 12'
METAL CORNER TRIMS TO MATCH
METAL WINDOW TRIMS TO MATCH
- 3 - WALL/SUPPORT - METAL HORIZONTAL PANEL, SANDBLASTED 4 x 8'
METAL CORNER TRIMS TO MATCH
METAL WINDOW TRIMS TO MATCH
- 4 - WALL - PAINTED CONCRETE PANELS WITH METAL TRIMS
BRUNNMAN MOORE LOC'DT 'SMART' WHITE
- 5 - GLAZING - PREFABRICATED VINYL FRAME WINDOW UNIT
INTERIOR FACTORY WHITE
- 6 - GLAZING - PREFABRICATED STONEFRONTIC/FINWALL SYSTEM
WITH FACTORY BLACK METAL FRAMES
(A) - SPANDEL PANEL SLIDE
(B) - CLEAR GLASS
(C) - CLEAR VISION GLASS
- 7 - RAILING - PREFABRICATED ALUMINUM GALVANNEAL FRAMEWORKED
GLASS INFILL PANELS WITH FACTORY BLACK FINISH (AS PER ELEVATIONS)
(A) - METAL DIAGONAL MESH PATTERN
(B) - METAL DIAGONAL MESH PATTERN
(C) - CLEAR GLASS
- 8 - GLAZING - METAL DIAGONAL MESH PATTERN
FACTORY BLACK
- 9 - ROOF - PARKLET CUR FLASHING
FACTORY BLACK
- 10 - PARKLET - PAINTED CONCRETE PANELS WITH METAL TRIMS
BLACK
- 11 - FASCIA - PAINTED 2X2 FASCIA, BLACK
- 12 - FINISH SCREEN, PREFABRICATED ALUMINUM FRAME WITH
GLASS INFILL PANELS
FACTORY BLACK FRAMES WITH ROOFED GLASS
- 13 - HISS COLUMN, PAINTED BLACK
- 14 - EXPOSED WOOD COLUMN, NATURAL CEDAR STAIN
- 15 - WOOD SCREEN, NATURAL CEDAR STAIN
- 16 - GALVANIZED ROOF SYSTEM, STEEL COLUMN & BEAMS, PAINTED BLACK

NOTES

1. UPPER FLOOR GRADE ELEVATIONS ARE ASSUMED
2. VERTICAL GRADE ELEVATIONS ARE ACTUAL AND GEODETIC
3. MAIN FLOOR GEODETIC GRADE ELEVATIONS MUST BE
CORRELATED WITH CIVIL DRAWINGS PRIOR TO EXCAVATION

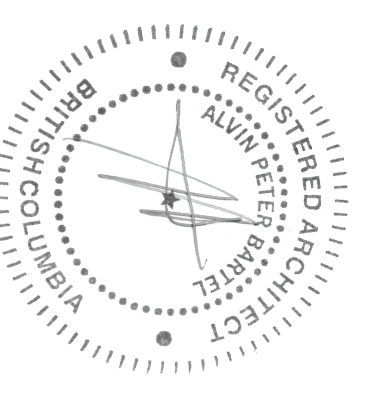
ELEVATIONS

ANCORA RESIDENCES

511 LILLOOET AVENUE, HARRISON HOT SPRINGS, BC

SCALE As indicated
JOB NO. 20070

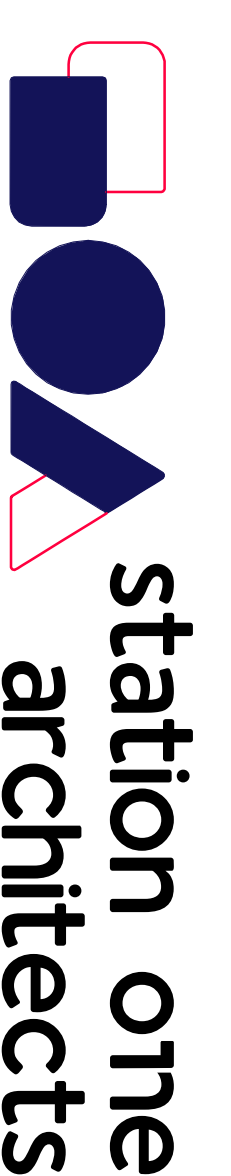
Aug 3, 2022



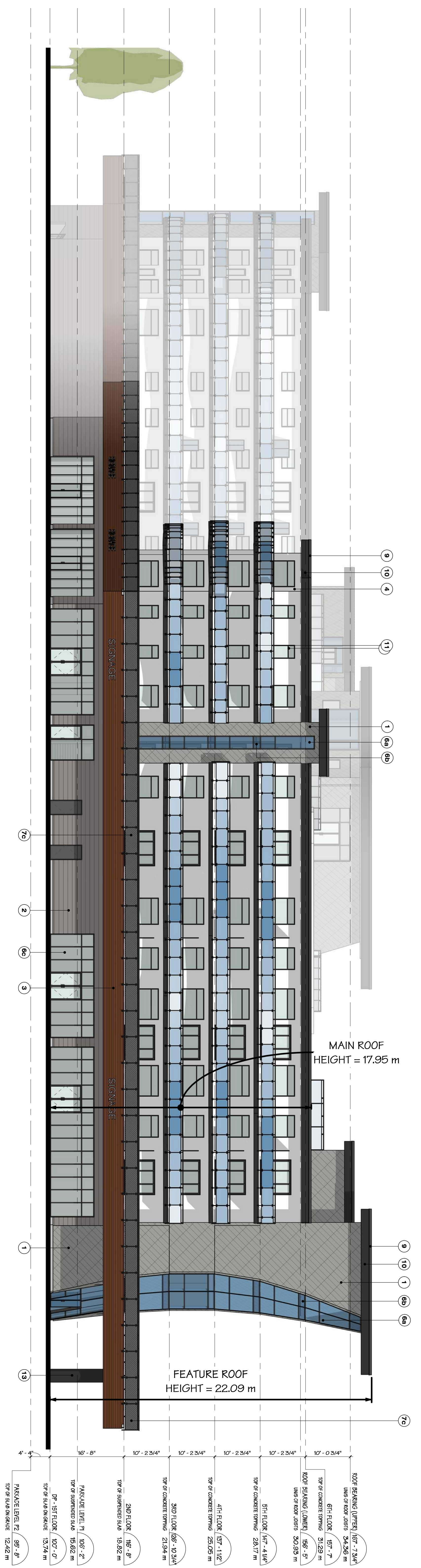
604 793 9445
search@seos.com

Chilliwack
9355 Young Rd
V2P 4S3

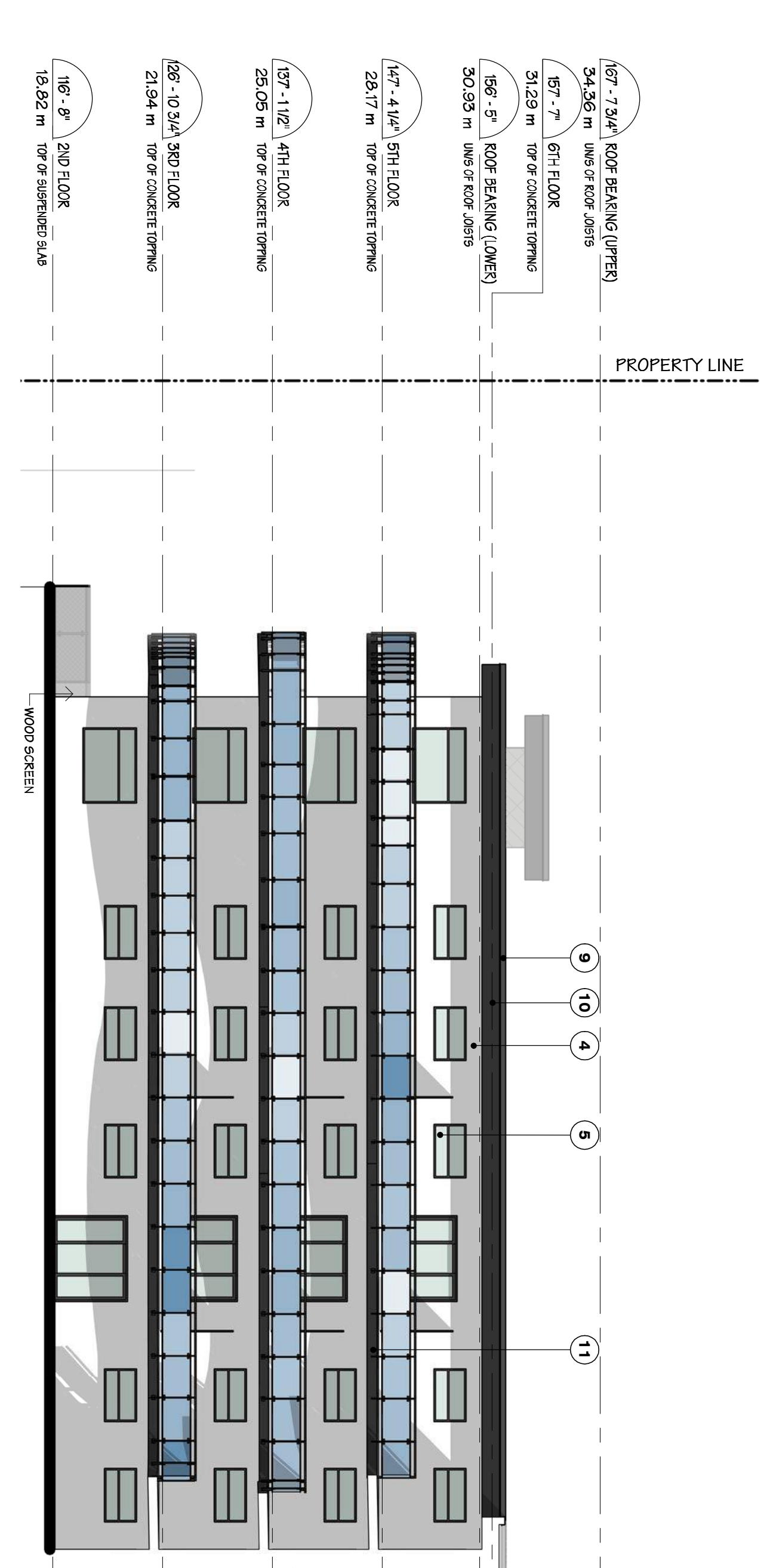
Abbotsford
203-2190 W. Railway St
V2S 2E2



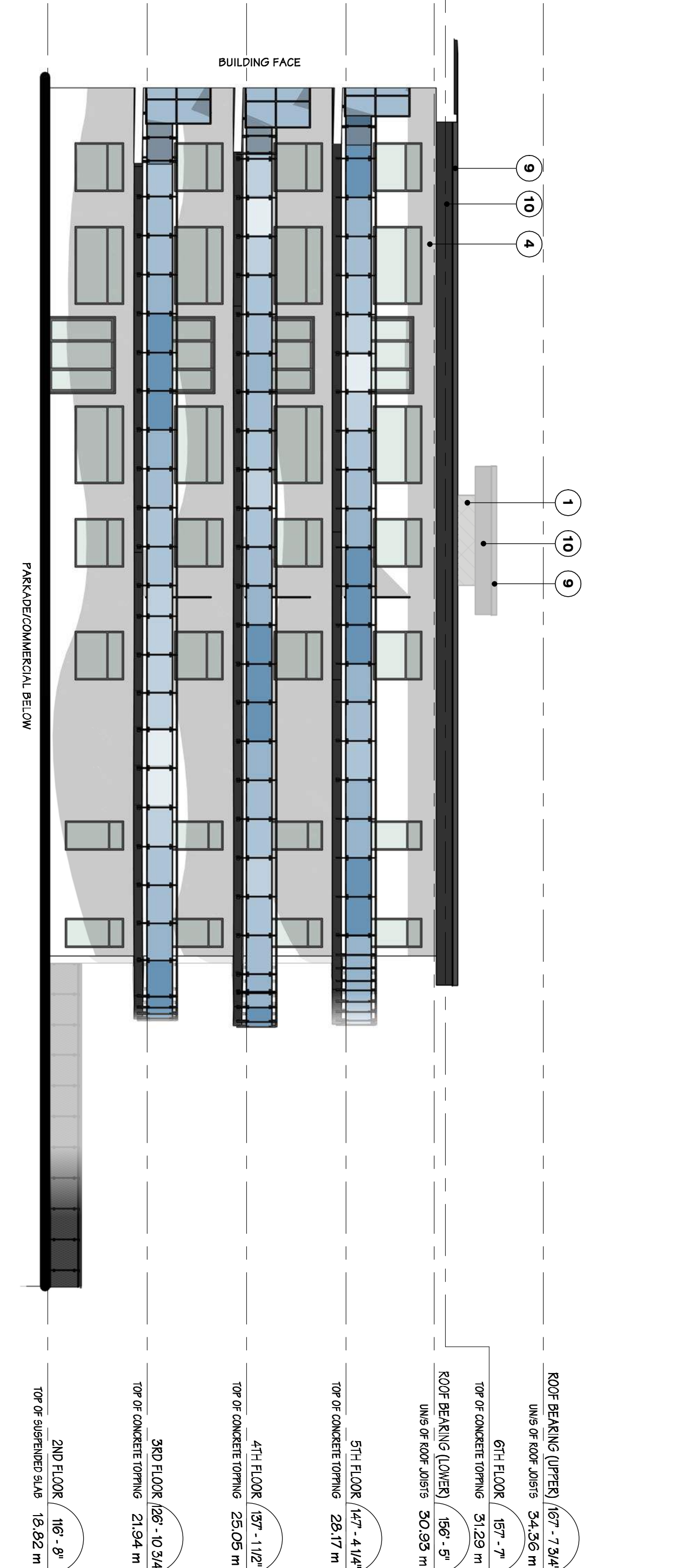
DP3.2



1 WEST ELEVATION
DP3.3 3/32" = 1'-0"



2 WEST ELEVATION (AT 2ND FLOOR COURTYARD)
DP3.3 3/32" = 1'-0"



3 EAST ELEVATION (AT 2ND FLOOR COURTYARD)
DP3.3 3/32" = 1'-0"

EXTERIOR FINISHES

- 1 - WALL - METAL DIAGONAL PANELS, 12" x 36" @ 45 DEGREES
M/C/METAL RECTANGULAR METALIC GREY
METAL WINDOW TRIMS TO MATCH
- 2 - WALL - METAL HORIZONTAL PANELS, 12"
M/C/METAL HORIZONTAL METALIC GREY
METAL CORNER TRIMS TO MATCH
METAL WINDOW TRIMS TO MATCH
- 3 - WALL/SUPPORT - METAL HORIZONTAL PANELS, 24" x 60"
M/C/METAL HORIZONTAL METALIC GREY
METAL CORNER TRIMS TO MATCH
METAL WINDOW TRIMS TO MATCH
- 4 - WALL - PAINTED SUBSTITUTION PANELS WITH METAL TRIMS
REPLACEMENT COLOR: 'SUNNY WHITE'
- 5 - GLAZING - PREFABRICATED VINYL FRAME WINDOW UNIT
INTERIOR FACTORY WHITE
DIBOND FACTORY BLACK
- 6 - GLAZING - PREFABRICATED STOREFRONT/FRAMWALL SYSTEM
WITH FACTORY BLACK METAL FRAMES
(1) - SPANDREL PANEL, BLUE
(2) - METAL DIAGONAL MESH PATTERNS
(3) - CLEAR VISION GLASS
- 7 - RAILING - PREFABRICATED ALUMINUM GALVANNEZ FRAME MOUNTED
GLASS INFILL PANELS
(1) - CLEAN GLASS
(2) - METAL DIAGONAL MESH PATTERNS
(3) - CLEAR VISION GLASS
- 8 - GUARDRAIL - METAL DIAGONAL MESH PATTERNS
FACTORY BLACK
- 9 - ROOF - PARKLET CAR FLASHING
FACTORY BLACK
- 10 - PARKLET - PAINTED SUBSTITUTION PANELS WITH METAL TRIMS
BLACK
- 11 - FASCIA - PAINTED 2x2 FASCIA, BLACK
- 12 - RAIN/CY SCREEN, PREFABRICATED ALUMINUM FRAME MOUNTED
GLASS INFILL PANELS
FACTORY BLACK FRAMES WITH ROOFED GLASS
- 13 - HISS COLUMN, PAINTED BLACK
- 14 - EXPOSED WOOD COLUMN, NATURAL CEDAR STAIN
- 15 - WOOD SCREEN, NATURAL CEDAR STAIN
- 16 - GALVEZ ROOF SYSTEM, STEEL COLUMN & BEAMS, PAINTED BLACK
- 17 - HISS COLUMN, PAINTED BLACK

NOTES

1. UPPER FLOOR GRADE ELEVATIONS ARE ASSUMED
2. METRIC GRADE ELEVATIONS ARE ACTUAL AND GEODETIC
3. MAIN FLOOR GEODETIC GRADE ELEVATIONS MUST BE
CORRELATED WITH CIVIL DRAWINGS PRIOR TO EXCAVATION

ELEVATIONS

ANCORA RESIDENCES

511 LILLOOET AVENUE, HARRISON HOT SPRINGS, BC

SCALE As indicated
JOB NO. 20070

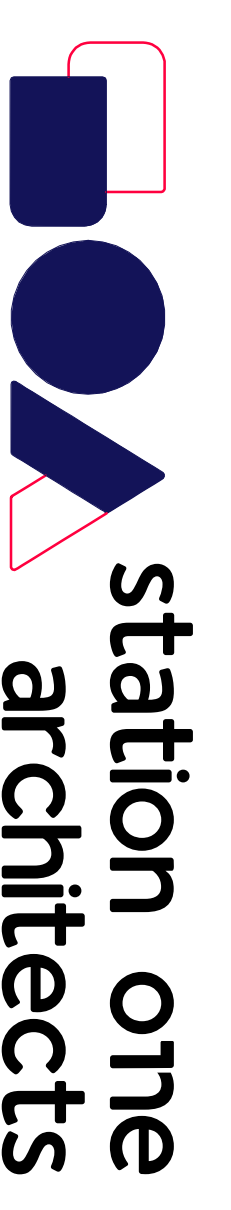
Aug 3, 2022



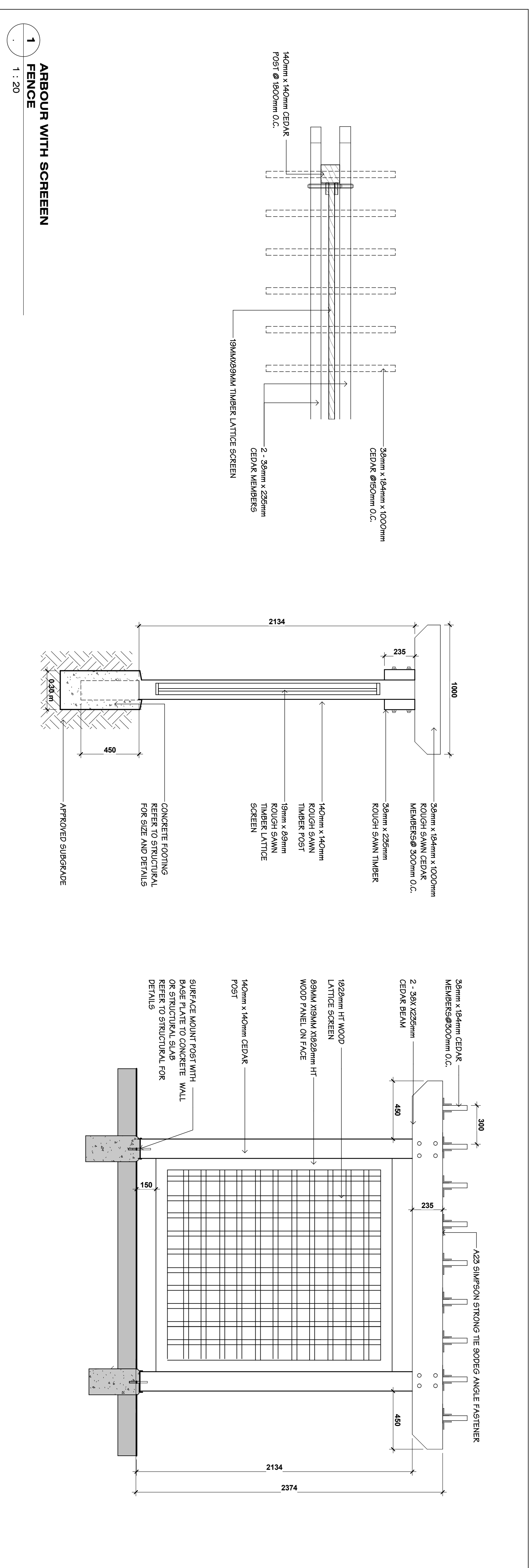
604 793 9445
soarchitects.com

Chilliwack
9355 Young Rd
V2P 4S3

Abbotsford
203-2190 W. Railway St
V2S 2E2

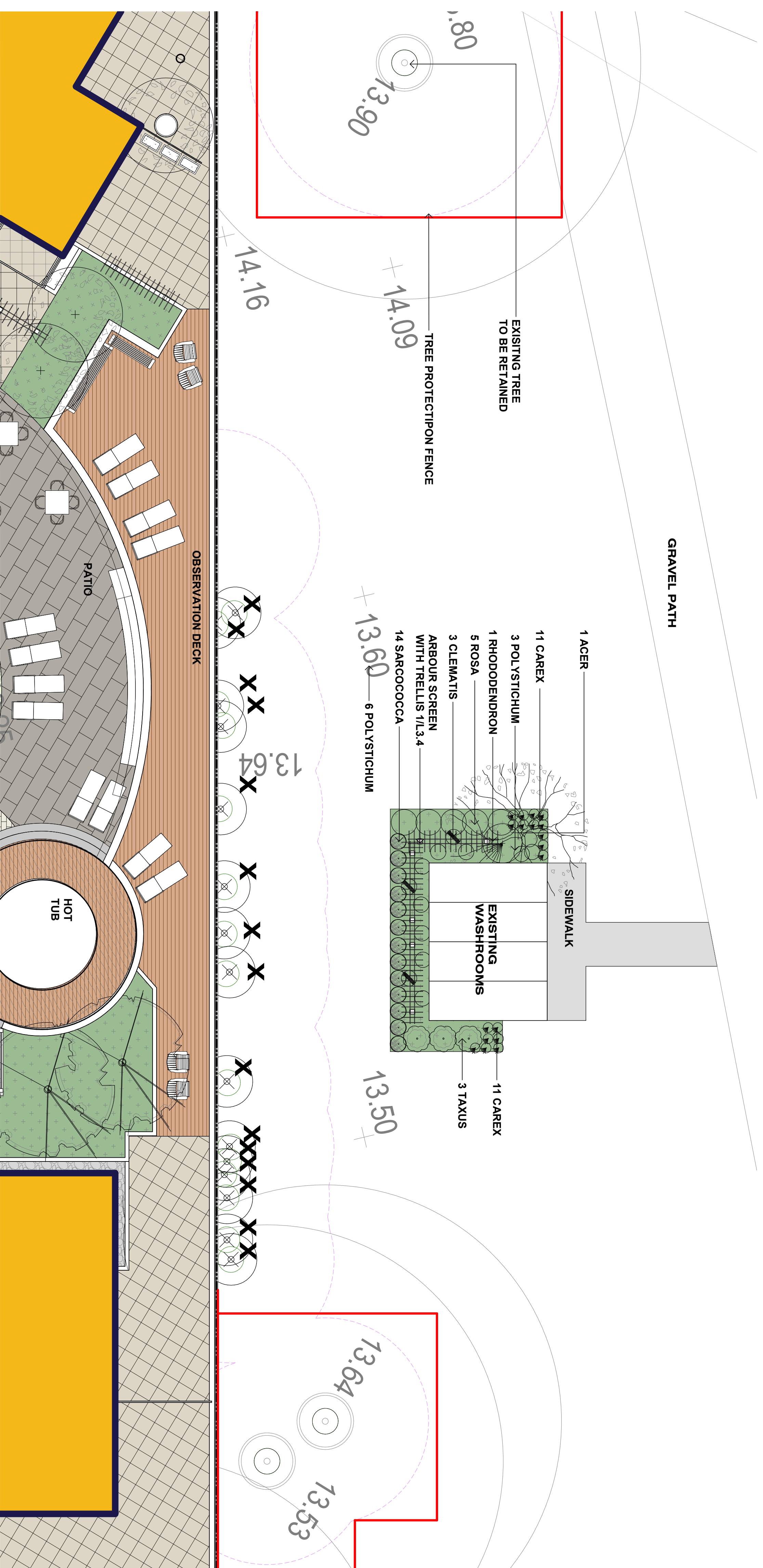


DP3.3



1 ARBOUR WITH SCREEN FENCE
1 : 20

OFF SITE - PLANTING SCHEDULE					
SYMBOL	QUANTITY	LATIN NAME	COMMON NAME	PLANT SIZE	REMARKS
	1	ACER RUBRUM	MAPLE	6cm cal	FALL COL
	16	CAREX MORROWII VAR	SEDGE GRASS	#1 POT	WHITE / GOLD / GREEN
	3	CLEMATIS VAR	CLEMATIS	#2 POT	PINK OR MAUIVE
	10	FERN - POLYSTICHUM	SWORD FERN	#2 POT	DARK GREEN
	1	RHODODENDRON RHODO VAR	MEDIUM / LARGE RHODO	#5 POT	RED / PINK
	5	ROSA NUTKANA	NUTKA ROSE	#3 POT	PINK
	15	SARCOCOCCA RUSCIFOLIA	SWEET BOX	#2 POT	WHITE
	3	TAXUS MEDIA	YEW	12M HT	DARK GREEN



OFF SITE - WASHROOM SCREEN - SHEMATIC PLAN

HARRISON LAKE RESIDENCES

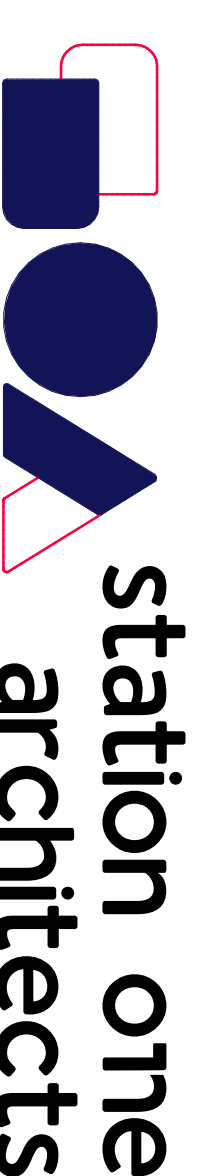
511 & 519 LILLOOET AVENUE, HARRISON HOT SPRINGS, BC

SCALE As indicated
JOB NO. 20070

604 793 9445
searchitects.com

Chilliwack
9355 Young Rd
V2P 4S3

Abbotsford
203-2190 W. Railway St
V2S 6E8



station one architects



Village of Harrison Hot Springs

DEVELOPMENT PERMIT NO. DP05/22

ISSUED this ____ day of _____, 2024

FILE No: 3060-20-DP05/22
FOLIO Numbers: 1645-52600

TO: 2118 Developments Limited

(the “Permittee”)

ADDRESS: 1598 West 65th Avenue
Vancouver BC
V6P 2R1

1. This Development Permit is issued subject to compliance with all of the bylaws of the Village of Harrison Hot Springs applicable thereto. This Development Permit must not be used to supplement any bylaw or vary the requirements of the Village of Harrison Hot Springs Zoning requirements.

2. This Development Permit applies to and only to those parcels of land(s) within the Village of Harrison Hot Springs legally described below:

Parcel Identifier: 031-317-367

Legally Described as: Lot A, Sec 13 Township 4, Range 29 West of the 6th Meridian, New Westminister District Plan EPP 108940

and any and all buildings, structures, and other development thereon.

(the “Lands”)

3. **This Development Permit is issued only to allow:**
for the development of a residential dwelling and retail commercial units at grade

4. The development must be carried out according to the following time schedule, if applicable: **N/A**

5. As a condition of the issuance of this Development Permit, the Council holds security in the form of an Irrevocable Letter of Credit in the amount of \$2,052,334.00 to ensure that development is carried out in accordance with the terms and conditions of this Development Permit. Should any interest be earned upon the security, it must accrue to the Permittee and be paid to the Permittee, if the security is returned. The condition of the posting of the security is that should the Permittee fail to carry out the work hereby authorized according to the terms and conditions of the Development Permit within the time provided, the Village may use the security to carry out the work by its servants, agents or contractors, and any surplus must be paid over to the Permittee; or should the Permittee carry out the work Permitted by this Development Permit within the set time set out below, the security must be returned to the Permittee.

6. THE FOLLOWING CONDITIONS APPLY TO THE DEVELOPMENT OF THE LANDS OR APPLY TO THE USE OF THE LANDS:
- i) The building materials must follow the Exterior Finishes Legend as outlined on sheets DP 3.1 to DP 3.3 of Station One Architects' drawings dated August 3, 2022. If there is any deviation from the use of these materials, the Village's prior approval for any deviation is required.
 - ii) The colours of the materials must be in accordance with sheets DP 3.1 to DP 3.3 of Station One Architects' drawings dated August 3, 2022. If there is any deviation from the use of these colours, the Village's prior approval for any deviation is required.
 - iii) The site plan layout as identified on sheet DP 1.1 of Station One Architects' drawings dated August 3, 2022, must be followed. If there is any deviation from this plan the Village's prior approval of any deviation is required.
 - iv) The Landscape Plan outlined on sheets L1 to L1C, as prepared by C. Kavolinas and Associates Incorporated, dated November 2022, must be followed. If there is any deviation from this plan, the Village's prior approval of any deviation is required.
 - v) A Works and Services Agreement must be entered into with the Village of Harrison Hot Springs to address any works and services that will take place off site as a result of this Development Permit. This includes but is not limited to: Sewer upgrades, Water upgrades, Road construction, and Storm Water issues.
 - vi) The off-site – washroom screen as outlined on sheet L3.4, drawn by Station One Architects, dated August 26, 2022, must be followed. If there is any deviation from this plan, the Village's prior approval of any deviation is required.
7. The Permittee agrees that the Lands must be developed and used strictly in accordance with this Development Permit, including any attached plans, maps, and specifications.
8. The following plans, maps or specifications are attached to and form a part of this Development Permit:
- i) Sheet DP1.1, and sheets DP 3.1 to 3.3 of Station One Architects' drawings dated August 3, 2022.
 - ii) Sheet L1 to L1C, as prepared by, C. Kavolinas and Associates Incorporated, dated November 2022.
 - iii) Sheet L3.4, drawn by station one architects, dated August 26, 2022.
9. **This Development Permit is NOT a Building Development Permit, a subdivision approval nor a soil deposit or removal permit.**
10. This Development Permit must lapse on the _____ day of _____, 2026 unless the development is substantially started.

RESOLUTION PASSED BY COUNCIL, THIS ____ day of _____, 2024

I HEREBY CERTIFY that I have read the terms and conditions of the Development Permit contained herein. I understand and agree that the Village of Harrison Hot Springs has made no representations, covenants, warranties, guarantees, promises or agreements (verbal or otherwise) with the owner of the parcel of land or me other than those contained in this Permit.

Shao Gen Li
(signature)

Print Name

Corporate Officer

DRAFT

File No: 3060-20-DP03/23

Date: May 21, 2024

To: Mayor and Council
From: Ken Cossey, Planning Consultant
Subject: Development Permit – 553 and 555 Lillooet Avenue

RECOMMENDATION

THAT Development Permit DP 03/23 be issued to 1103593 BC Limited for property located at 533 and 555 Lillooet Avenue, Harrison Hot Springs for land legally described as:

- (i) Lot 2 Except part subdivided by Plan 70793, Sec 13 Township 4, Range 29 West of the 6th Meridian, New Westminster District Plan 59945, and
- (ii) Lot A, Sec 13 Township 4, Range 29 West of the 6th Meridian, New Westminster District Plan 70793

Subject to the following;

- a) The Village receiving an Irrevocable Letter of Credit in the amount of \$650,353.00;
- b) The Fraser Valley Regional District issuing a Demolition Permit for any building or structures on the proposed site;
- c) The provision of at least one electric vehicle charging outlet being installed on the proposed site;
- d) The Village being provided with a copy of the Ministry of Transportation and Infrastructure access permit;
- e) The provision of a covenant indicating that the applicant must provide at least 4 accessible Parking Stalls, that are the closest to the proposed development;
- f) A Comprehensive Sign permit being issued by the Village;
- g) The applicant entering into a Works and Services Agreement for utilities and frontage improvements with the Village;
- h) The applicant entering into a Landscaping Agreement with the Village;
- i) The applicant entering into a flood plain covenant;
- j) The application be referred to the Village's Fire Department for their comments and recommendations. Any recommendations must be included in the Planning Review stage on the issuance of a building permit; and
- k) A report prepared by a competent professional with at least 10 years of professional experience, and accepted by the Village, that addresses:

- i. The estimation on the demand to be generated by the proposed development for water, and sewer services and in the case of any phased development, by each phase of the development;
- ii. An analysis of the existing community water system and the existing community sewer system and outlining the options available for the supply and delivery of water and the provision of sewer services to the proposed development;
- iii. An estimation of the amount of additional surface drainage that could be generated by the proposed development and the options available for on-site retention/absorption, collection, storage, and dispersal of such drainage;
- iv. Identification of, if applicable, the new capital works required for the proposed development for water, sewer, and the drainage systems and their cost and the potential funding sources for these expenditures.

SUMMARY

To present a Development Permit for 553 and 555 Lillooet Avenue for Council's consideration.

BACKGROUND

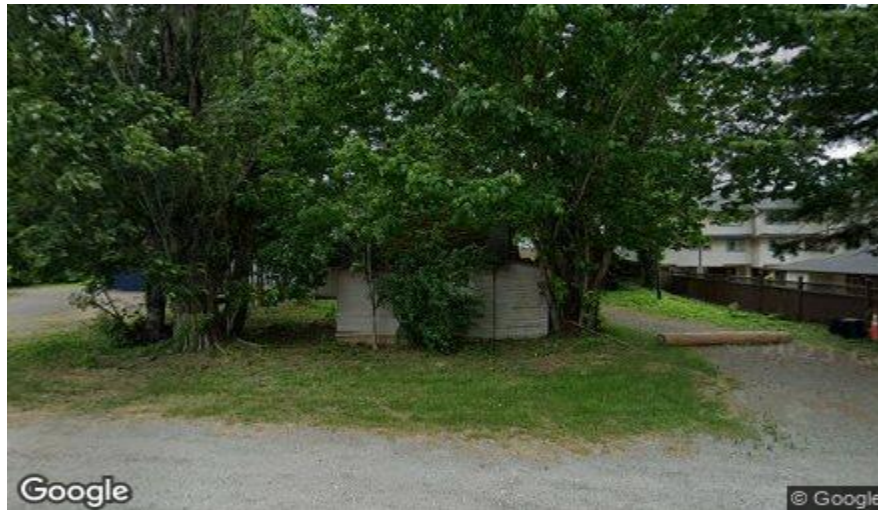
The two properties are owned by the same BC company. The owner of this company wishes to develop the sites with a four-storey building that will house 38 residential dwelling units.

Parcel Size, and adjacent uses

Collectively, the two properties are approximately 0.2268 Ha (0.5604 Ac, 2,268 M², or 24,413 ft²) in size, are currently developed and they are accessible from Lillooet Avenue.



553 Lillooet Ave



555 Lillooet Ave



Aerial photograph of the proposed site

The site is zoned for C-1 activities and is surrounded on the westerly and easterly boundaries by other C-1 activities. The northern boundary is adjacent to Rendall Park and across Lillooet Avenue is R-2 Residential (Duplex) uses.

This property is located in the Lakeshore Development Permit Area, which addresses form and character issues. The Official Community Plan Bylaw No. 864, 2007 is the guiding policy document for this development as it was still in effect at the time the application was submitted.

Current and Proposed Land Use

Currently on the site are older buildings and structures previously used for single family dwellings. The owner will be demolishing the existing buildings or structures on the site. The proposed use consists of 38 dwelling units, broken down into the following categories:

Number of Units	Type of Unit	Size of the unit (ft ²)
12	One bedroom	688
8	One bedroom	764
4	One bedroom	425
6	Two bedrooms	720
8	Two bedrooms	1010



Zoning Bylaw and OCP Designation

Based upon a review of the Village's OCP Bylaw No. 864, 2007, the site is within the Village Centre Designation and is within one Development Permit Area; The Lakeshore Development Permit Area addresses the form and character of the proposed building or structure. The site is within the C-1 Zoning and the proposed use is permitted.



Development Permit Area (DPA) Guideline Objective

4.4.3 Justification

Commercial and multi-family residential development in the Lakeshore Area is designated within a Development Permit Area in response to the following objectives:

- Recognize the Lakeshore Area as a critical area due, in part, to its high potential for major new development and redevelopment.
- Ensure a high quality of both tourist-oriented commercial development and new residential development.
- Encourage uses, building design and landscaping which build on the unique opportunities presented by Harrison Lake, the beach, and the surrounding area.
- Establish design guidelines for development within the Lakeshore Area to maintain the Village character, promote compatibility and architectural integrity with existing development, and preserve views.

4.4.4 Guidelines

Development Permits issued in this area shall be in accordance with the Village of Harrison Hot Springs Design Guidelines, forming **Schedule 1-D** of this plan. The design principles include:

- a. Architecture responsive to the medium density mixed-use context and integrated with neighbouring buildings of various ages.
- b. Site planning based on creating continuous street-oriented edges and intensifying pedestrian activity within the Lakeshore Special Planning Area.
- c. Protection of view corridors within the Village towards Harrison Lake and the surrounding mountains.
- d. Respect for the natural setting which should continue to dominate along the lakeshore.
- e. Variation on themes to result in a balance between continuity and a healthy diversity, both within a commercial, residential, or mixed-use development and throughout the Village.

Source: *Harrison Hot Springs Official Community Plan*, 864, 2007

Attached to this report is a draft development permit that meets the requirements of the guidelines.

Referral Agencies

Upon a review of the application and given the scope and size of the proposed development, staff are of the opinion that this application should be referred to the Harrison Hot Springs Fire Department.

Notice on Title – Flooding Covenant

There is no covenant registered against either Lot that addresses any potential flooding issue.

Issues of concern

Staff have the following concerns:

1. The safety of the building from a fire perspective;
2. There are no Electric Vehicle Charging outlet mentioned in the application;
3. There is no floodplain covenant currently registered on either property;
4. The volume and direction of any potential surface water discharge; and
5. The impacts on the current Village water and sewage capacity when servicing this proposed site with sewer and water.

DISCUSSION

Listed below are the applicable Zoning regulations that will be assessed again when the applicant applies for a Building Permit.

Issue	Proposed – meets or exceeds Zoning Bylaw requirements
Floor Area Ration (FAR)	Maximum FAR is 1.5 – proposing 1.46
Building Height	Maximum is 15 M – proposing 15 M
Lot Coverage	Permitted 75% - proposing 67.5%
Setbacks	Indicates that the C-1 requirements will be followed (7.5 M minimum rear Setback is required if the proposed use is abutting against a residential use or is a residential use)
Parking (on site)	Require 48 – providing 48 (at least one electric vehicle charging outlet is required and 4 stalls must be set up as disability parking stalls)
Bicycle Parking requirements	Require 10 – proposing 10
Site Lines	Will be reviewed when the Building Permit is being reviewed.

FINANCIAL CONSIDERATIONS

There are no financial considerations associated with this report.

POLICY CONSIDERATIONS

2023 Strategic Plan Priorities

Sustainable Development – To maintain Harrison Hot Springs as a place we call home.

OCP – Village Centre Designation and the Lakeshore Development Permit Guidelines

Zoning Bylaw – C-1 zone regulations and other applicable regulations

Respectfully submitted:



Ken Cossey, MCIP, RPP
Planning Consultant

Reviewed by:



Tyson Koch
Chief Administrative Officer

- Attachments (4):
1. Draft DP 3060-20-DP03/23
 2. Precision Buildings Design Associates Ltd. Concept Drawing Sheets A3.0 to A3.4 dated April 20, 2023
 3. AMR Systems Landscape Plan dated December 7, 2023
 4. Preview Builders International Incorporated cost estimate sheet dated November 17, 2023



Village of Harrison Hot Springs

DEVELOPMENT PERMIT NO. DP 03-23

ISSUED this ____ day of _____, 2024

FILE No: 3060-20-DP03-23
FOLIO Numbers: 1645-52710
and 1645-52700

TO: 1103593 BC Limited

(the “Permittee”)

ADDRESS: 204 5740 Cambie Street
Vancouver, BC
V3W 4H2

1. This Development Permit is issued subject to compliance with all of the bylaws of the Village of Harrison Hot Springs applicable thereto. This Development Permit must not be used to supplement any bylaw or vary the requirements of the Village of Harrison Hot Springs Zoning requirements.
2. This Development Permit applies to and only to those parcels of land(s) within the Village of Harrison Hot Springs legally described below:

Parcel Identifier: 002-760-061,
and 002-786-567

Legally Described as: Lot 2 Except part subdivided by Plan 70793, Sec 13 Township 4, Range 29 West of the 6th Meridian, New Westminster District Plan 59945, and
Lot A, Sec 13 Township 4, Range 29 West of the 6th Meridian, New Westminster District Plan 70793

and any and all buildings, structures, and other development thereon.

(the “Lands”)

3. **This Development Permit is issued only to allow:**

For the construction of a 4-storey residential building consisting of 38 residential units

4. The development must be carried out according to the following time schedule, if applicable: **N/A**

As a condition of the issuance of this Development Permit, the Council holds security in the form of an Irrevocable Letter of Credit in the amount of \$650,363.00 to ensure that development is carried out in accordance with the terms and conditions of this Development Permit. Should any interest be earned upon the security, it must accrue to the Permittee and be paid to the Permittee, if the security is returned. The condition of the

posting of the security is that should the Permittee fail to carry out the work hereby authorized according to the terms and conditions of the Development Permit within the time provided, the Village may use the security to carry out the work by its servants, agents or contractors, and any surplus must be paid over to the Permittee; or should the Permittee carry out the work Permitted by this Development Permit within the set time set out below, the security must be returned to the Permittee.

6. THE FOLLOWING CONDITIONS APPLY TO THE DEVELOPMENT OF THE LANDS OR APPLY TO THE USE OF THE LANDS:
 - i) The building materials must consist of the materials, identified on the Preview Builders International Incorporated cost estimate sheet, dated November 17, 2023. If there is any deviation from the use of these materials, the Village's prior approval for any deviation is required.
 - ii) The colours of the materials must be in accordance with the following sheets numbered A3.0 to A3.4, prepared by IGEL Architecture and dated April 30, 2024. If there is any deviation from the use of these colours, the Village's prior approval for any deviation is required.
 - iii) The design of the building must be in accordance with the following sheets numbered A3.0 to A3.4, prepared by IGEL Architecture and dated April 30, 2024. If there is any deviation from this design, the Village's prior approval for any deviation is required.
 - iv) The Landscape Plan outlined on Sheets L0.0 to L4.0, as prepared by AMR Systems, dated December 7, 2023, must be followed. If there is any deviation from this plan the Village's prior approval of any deviation is required.
 - v) A Works and Services Agreement must be entered into with the Village of Harrison Hot Springs to address any works and services that will take place off site, as a result of this Development Permit. This includes but is not limited to; Sewer upgrades, Water upgrades, Road construction, and Storm Water issues.
7. The Permittee agrees that the Lands must be developed and used strictly in accordance with this Development Permit, including any attached plans, maps, and specifications.
8. The following plans, maps or specifications are attached to and form a part of this Development Permit:
 - i) The above referenced sheets numbered A3.0 to A3.4, prepared by IGEL Architecture and dated April 30, 2024.
 - ii) The Landscape Plan prepared by AMR Systems, dated December 7, 2023.

iii) The Preview Builders International Incorporated cost estimate sheet dated November 17, 2023.

9. **This Development Permit is NOT a Building Development Permit, a subdivision approval nor a soil deposit or removal permit.**
10. This Development Permit must lapse on the _____ day of _____, 2026 unless the development is substantially started.

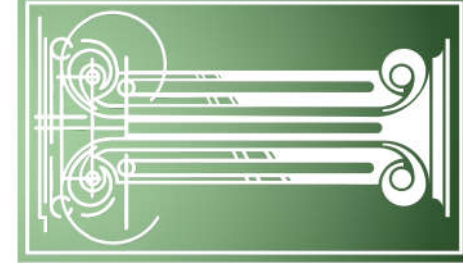
RESOLUTION PASSED BY COUNCIL, THIS _____ day of _____, 2024

I HEREBY CERTIFY that I have read the terms and conditions of the Development Permit contained herein. I understand and agree that the Village of Harrison Hot Springs has made no representations, covenants, warranties, guarantees, promises or agreements (verbal or otherwise) with the owner of the parcel of land or me other than those contained in this Permit.

Shao Gen Li
(signature)

Print Name

Corporate Officer



PRECISION BUILDING DESIGN ASSOCIATES LTD.
Member of the Precision Building Group

Project: **Harrisons Condo**

Address: **553/555 Lillooet Ave.,
 Harrison Hot Springs, B.C.**

Drawing heading:

Site images:



rendering:



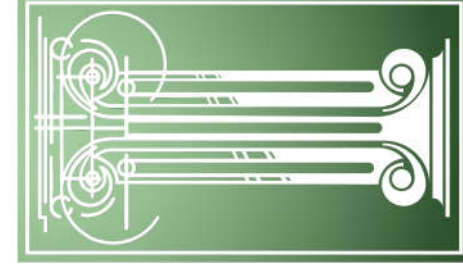
RH SIDE (EAST) ELEVATION
 1/8" = 1'-0"

FRONT (SOUTH) ELEVATION
 1/8" = 1'-0"

NO.	REVISIONS	DATE
1	SITE CORRECTIVE	2023-2023
2	FOOTING CORRECTIVE	07/27/2023
3	ELEVATION/CHANGE REVIEW	08/16/2024
4	COLOR PRINTS	JAN 2024
5		
6		
7		
8		
9		
10		

Sheet name: **Front (South) & Rh Side (East) Elevations**

Project no: PM4172
 designed: K.VIEL/SHI
 scale: AS SHOWN
 date: APRIL 30, 2024
 checked:

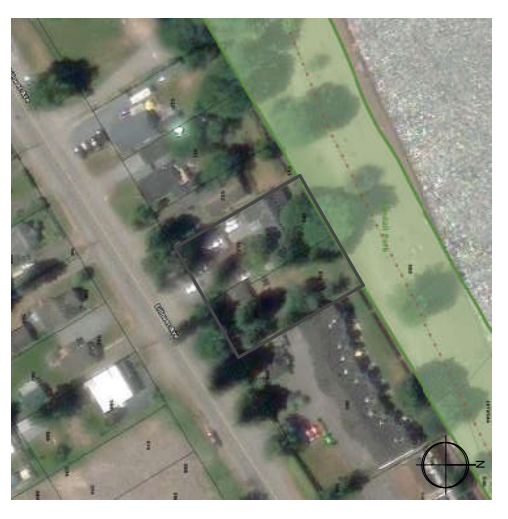


PRECISION BUILDING DESIGN ASSOCIATES LTD.
Member of the Precision Building Group

project: **Harrison Condo**

address: **553/555 Lillooet Ave.,
 Harrison Hot Springs, B.C.**

drawing heading:



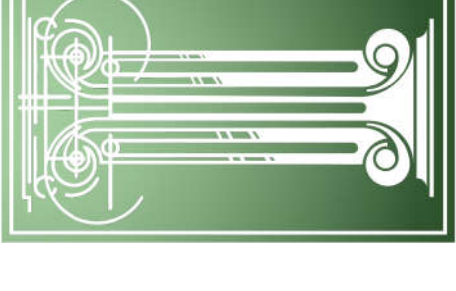
rendering:



stage: **Concept Drawings**

sheet name: **Rear (North) & Lh Side
 (West) Elevations**

project no: **PM4172**
 scale: **AS SHOWN**
 date: **APRIL 30, 2024**
 sheet number:

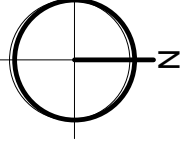


**PRECISION BUILDING
DESIGN ASSOCIATES LTD.**
Serving a variety of clients in the Greater Vancouver Area

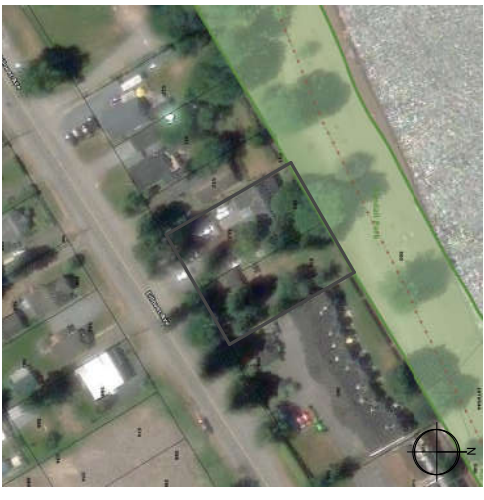
project:
Harrisons Condo

address:
5531555 Lillooet Ave.,
Harrison Hot Springs, B.C.

drawing heading:



site images:



rendering:



sheet:

no.	description	date
1	SITE CONCEPT REVIEW	NOV 2023
2	PRELIMINARY DESIGN	DEC 2023
3	FINAL CONCEPT REVIEW	OCT 2023
4	EXHIBITION/CLIENT REVIEW	MAY 2024
5	CLIENT PRESENTS	-
6	-	-
7	-	-
8	-	-
9	-	-
10	-	-

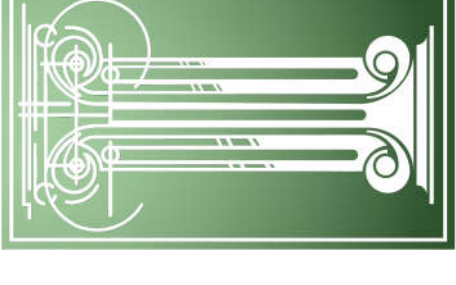
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sheet name:
Renderings

project no:
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scale:
AS SHOWN
date:
APRIL 30, 2024
sheet number:

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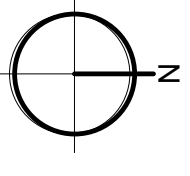


**PRECISION BUILDING
DESIGN ASSOCIATES LTD.**
SALES & SUPPORT IN VANCOUVER, BC, TEL: 604-273-0288

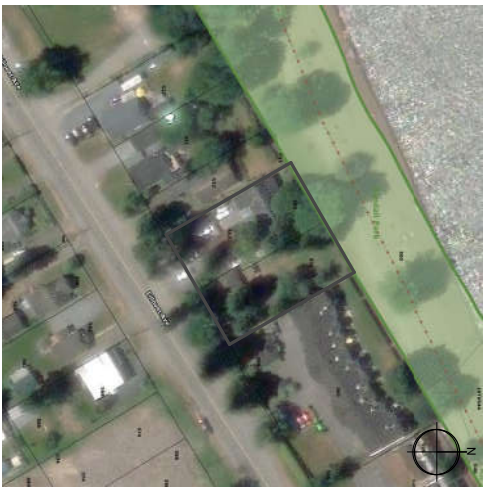
project:
Harrisons Condo

address:
553/555 Lillooet Ave.,
Harrison Hot Springs, B.C.

drawing heading



site images



rendering



revisions

no.	description	date
1	SITE CONCEPT REVIEW	MAY 2023
2	FOCUS CONCEPT REVIEW	OCT 2023
3	ELEVATION/EXTERIOR REVIEW	MAY 2024
4	CONCEPT PRESENT	-
5	-	-
6	-	-
7	-	-
8	-	-

stage

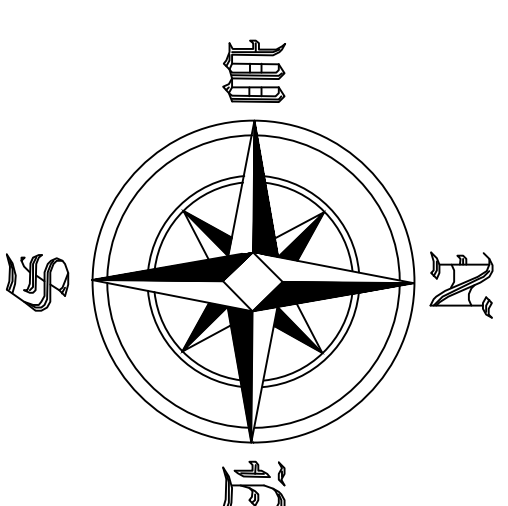
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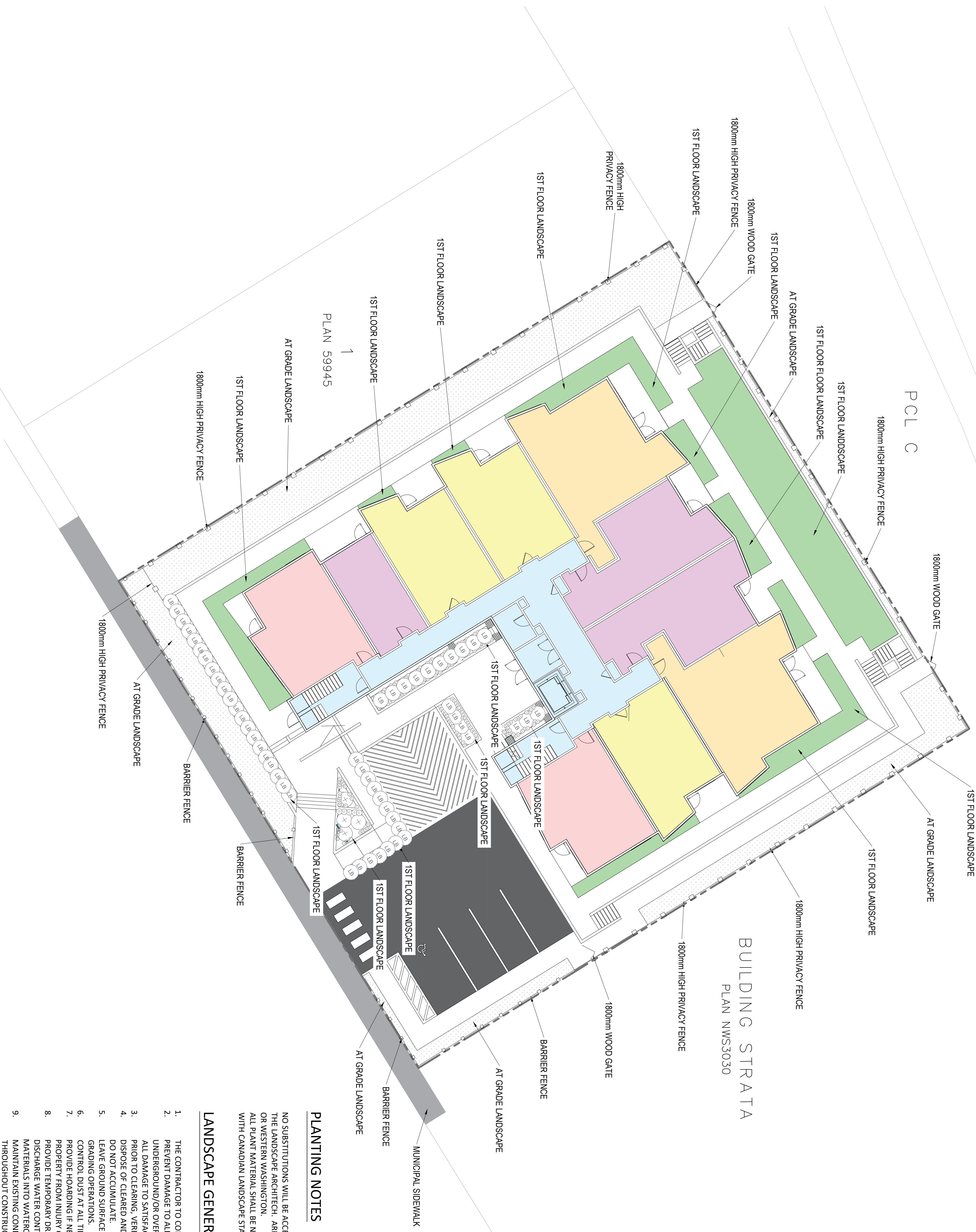
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project no:
PJM4172
scale:
AS SHOWN
date:
APRIL 30, 2024
sheet number:

designed:
K. VIEL SH
drafted:
-
checked:
-



BUILDING STRATA
PLAN NWS3030



PLANTING NOTES

NO SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT. AREA OF SEARCH FOR MATERIALS IS TO BE LOCAL OR WESTERN WASHINGTON.
ALL PLANT MATERIAL SHALL BE NURSERY GROWN CONTAINER STOCK AND COMPLY WITH CANADIAN LANDSCAPE STANDARD (CURRENT EDITION).

LANDSCAPE GENERAL NOTES

1. THE CONTRACTOR TO CONFIRM UNITS AND MEASUREMENTS.
2. PREVENT DAMAGE TO ALL LANDSCAPING, BUILDINGS, STRUCTURES AND UNDERGROUND/OR OVERHEAD UTILITIES. MAKE GOOD OF ALL DAMAGE TO SATISFACTION OF OWNER.
3. PRIOR TO CLEARING, VERIFY LIMITS OF CLEARING WITH OWNER.
4. DISPOSE OF CLEARED AND GRUBBED MATERIALS AS WORK PROGRESSES AND DO NOT ACCUMULATE.
5. LEAVE GROUND SURFACE IN CONDITION SUITABLE FOR THE IMMEDIATE GRADING OPERATIONS.
6. CONTROL DUST AT ALL TIMES FOR DURATION OF CONTRACT.
7. PROVIDE HOARDING IF NECESSARY AND PROTECT PUBLIC AND PRIVATE PROPERTY FROM INJURY OR DAMAGE.
8. PROVIDE TEMPORARY DRAINAGE AND PUMPING IF NECESSARY AND DO NOT DISCHARGE WATER CONTAINING SUSPENDED MATERIALS INTO WATERCOURSES OR DRAINAGE SYSTEM.
9. MAINTAIN EXISTING CONDITIONS FOR PARKING AROUND THE SITE THROUGHOUT CONSTRUCTION. TAKE MEASURES TO RE-ROUTE TRAFFIC OR WARN VISITORS TO THE SITE THAT HEAVY EQUIPMENT AND WORK CREWS ARE OPERATING.
10. AREA AND VEGETATION DISTURBED DUE TO GRADING AND EXCAVATION SHALL BE REHABILITATED SATISFACTORY TO THE OWNER.

OVERALL LANDSCAPING PLAN

Scale: 1:150



Revision/Issue	Date
1 ISSUED FOR DP	11/20/2023

HARRISON CONDO
553 & 555 LILLOOET AVENUE,
HARRISON HOT SPRINGS, BC



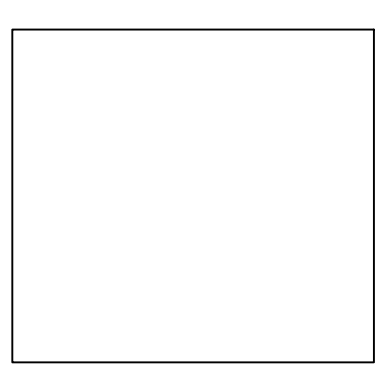
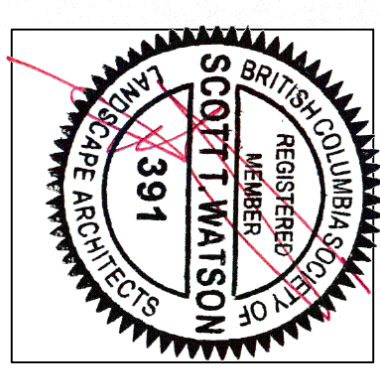
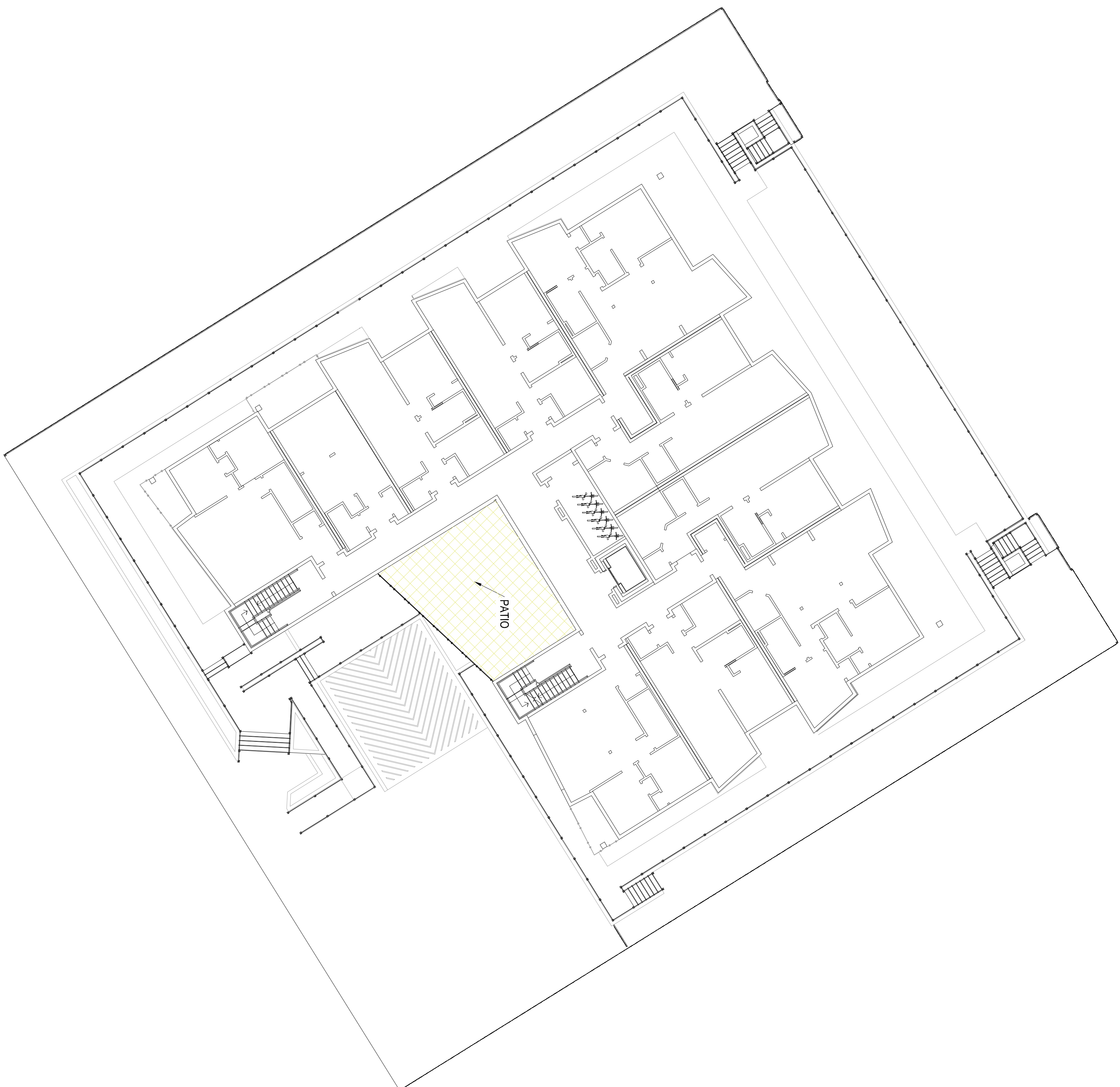
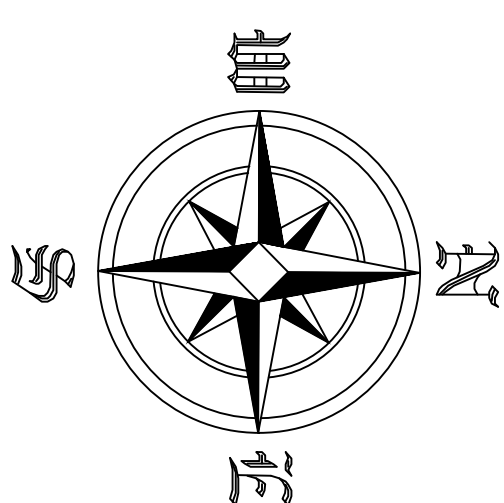
Topographic Survey / Landscape Architecture / Arboriculture / Tree Care / Planting / Irrigation / Drainage / Stormwater Design
201 - 45269, KELTH, WILSON RD.,
CHILLIWACK, BC.
Phone: 604-402-0031
admin@amrsystems.ca

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OVERALL LANDSCAPE PLAN

Drawn	CDM	Sheet
Project	23-148	
Client	SW	
Date	10.04.2023	
Scale	1:150	

L1.0



Revision/Issue	Date
1 ISSUED FOR DP	11/20/2023

HARRISON CONDO
 553 & 555 LILLOOET AVENUE,
 HARRISON HOT SPRINGS, BC

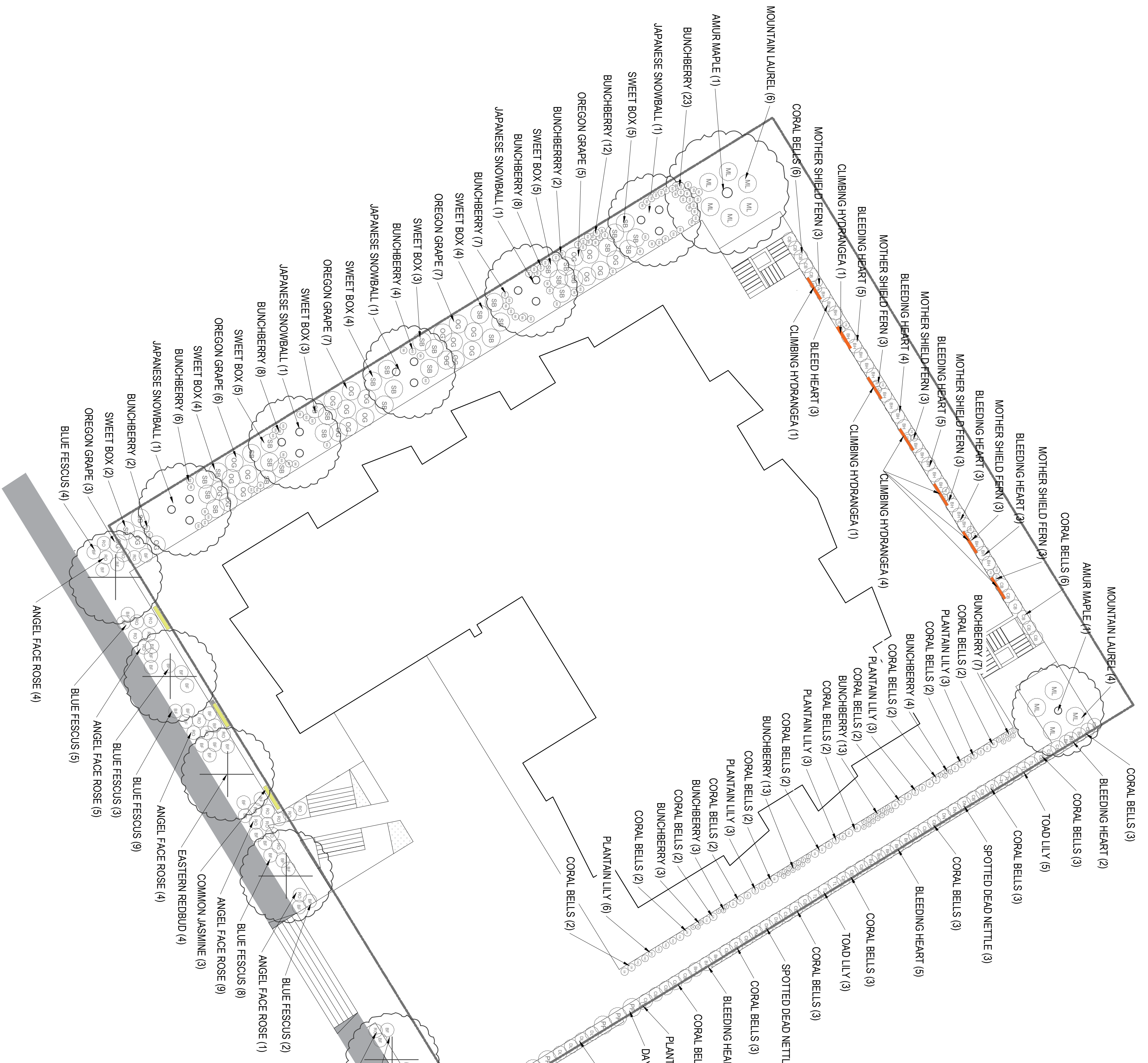
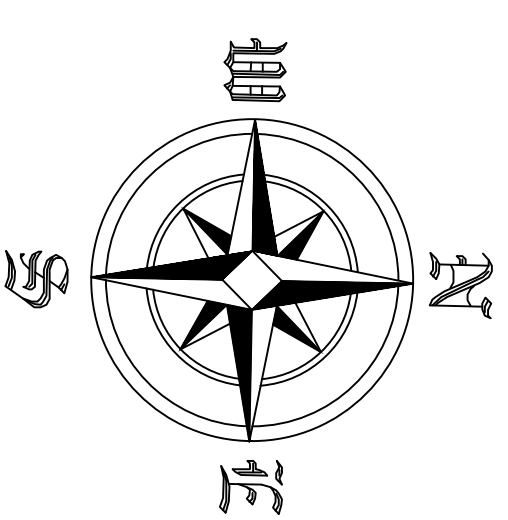
AMR Systems
 Topographic Survey / Landscape Architecture / Architect
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**3RD FLOOR AMENITIES AREA
 PLAN**

Client	CDM	Sheet	
Project	23-148		
Checked	SW		
Date	10.04.2023		
Scale	1:150		L2.2

FIRST FLOOR MATERIALS & LAYOUT PLAN
 Scale: 1:150

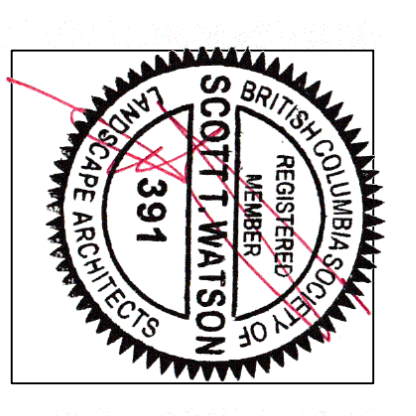


PLANTING SCHEDULE

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	REMARK
TREES					
2		ACER GINNALA	AMUR MAPLE	5cm CAL.	
6		CERCIS CANDIDENSIS BLACK PEARL	EASTERN REDBUD	5cm CAL.	
5		STYRAUX JAPONICUS	JAPANESE SNOWBALL	5cm CAL.	
SHRUBS					
58		BUXUS MICROPHYLLA	LITTLELEAF BOXWOOD	#1 POT	
5		CLEMATIS 'HARLENE'	CLIMBING CLEMATIS	#1 POT	
129		CORNUS CANADENSIS	BUNCHBERRY	#1 POT	
129		FESTUCA GALVICA BEYOND BLUE	BEYOND BLUE BLUE FESCUS	#1 POT	
129		DICENTRA SPECTABILIS	BLEED HEART	#1 POT	
9		HEMEROCALLIS ALABAMA JUBILEE	ALABAMA JUBILEE DAY LILY	#1 POT	
57		HEICHERA 'GRAPE EXPECTATIONS'	CORAL BELLS	#1 POT	
167		HOSTA SILVER BULLET	PLANTAIN LILY	#1 POT	
7		HYDRANGEA ANOMALA subsp. PETIOLARIS	CLIMBING HYDRANGEA	#1 POT	
3		JASMINE OFFICINALE	COMMON JASMINE	#1 POT	
10		KALIMA LATIFOLIA	MOUNTAIN LAUREL	#1 POT	
9		LAMNIA MACULATA PINK PEWEE	SPOTTED DEAD NETTLE	#1 POT	
28		MAHONIA AQUIFOLIUM	OREGON GRAPE	#1 POT	
18		POLYSTICHUM PROLIFERUM	MOTHER SHIELD FERN	#1 POT	
8		POTENTILLA FRUTICOSA 'DAVDAMI'	DAVDAMI POTENTILLA	#1 POT	
25		ROSA FLORIBUNDA ANGEL FACE	ANGEL FACE ROSE	#1 POT	
35		SARCOCCOA CONFUSA	SWEET BOX	#1 POT	
8		TRICORYS SINONOME	TOAD LILY	#1 POT	
4		VIBURNUM DAVIIDII	DAVID VIRBURNUM	#1 POT	

AT GRADE PLANTING PLAN

Scale: 1:150



Revision/Issue	Date
1 ISSUED FOR DP	11/20/2023

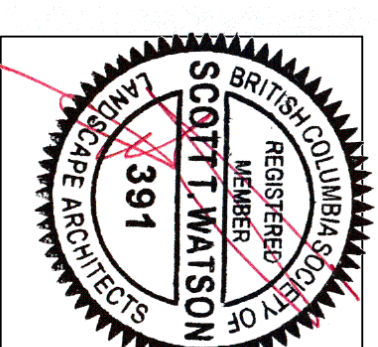
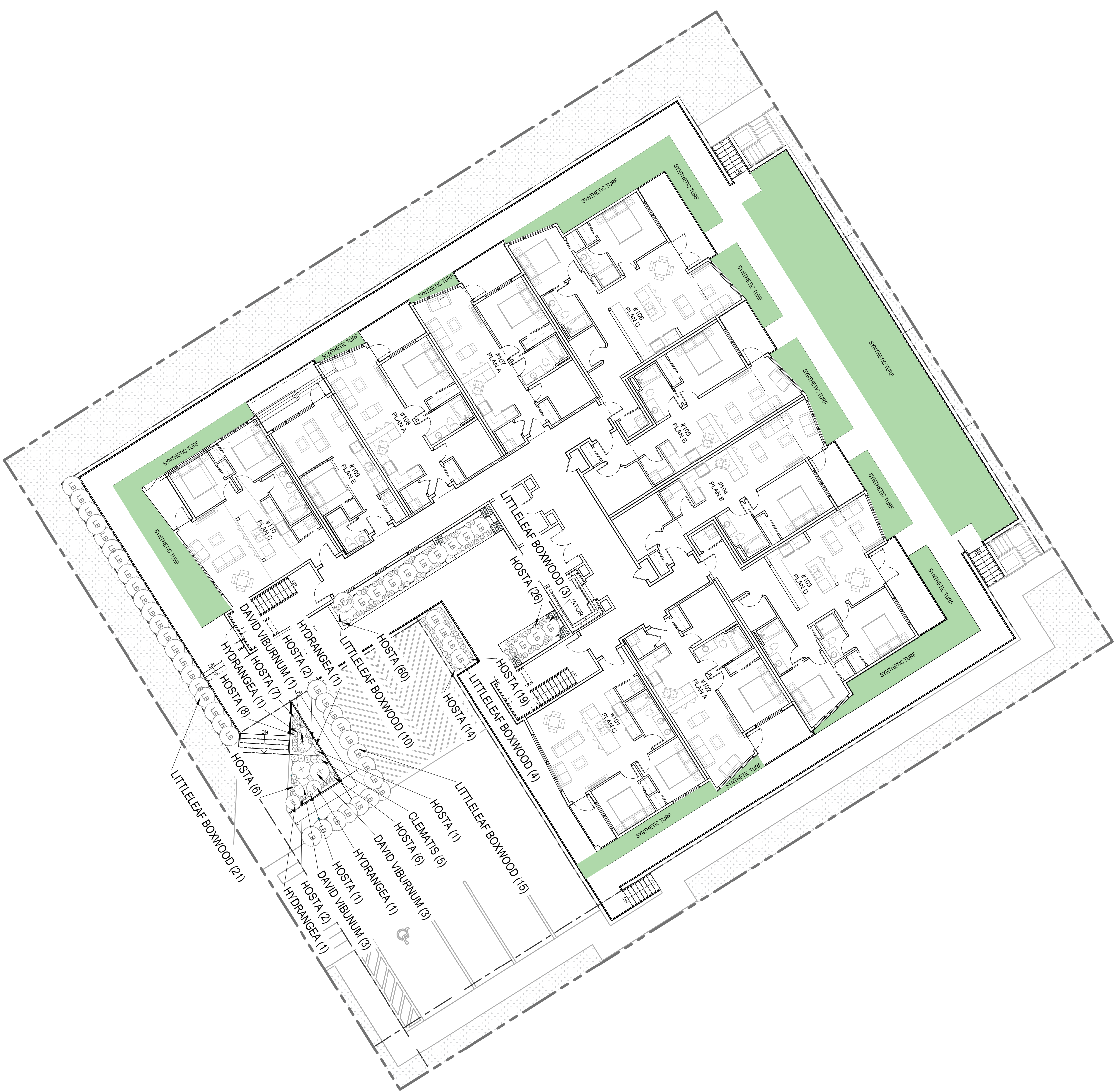
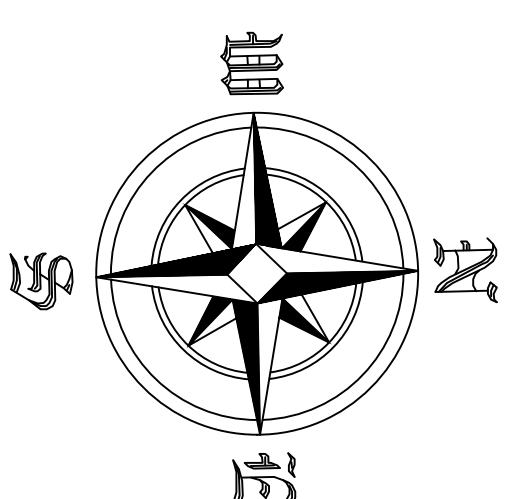
HORRISON CONDO
 553 & 555 LILLOOET AVENUE,
 HARRISON HOT SPRINGS, BC.

AMR Systems
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 CHILLIWACK, BC
 Phone: 604-402-0031
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AT GRADE
 PLANTING PLAN

Drawn	Checked	Scale
CDM	SW	1:150
23-148	10-31-2023	L3.0
584		



Revision/Issue	Date
1 ISSUED FOR DP	11/20/2023

HORRISON CONDO

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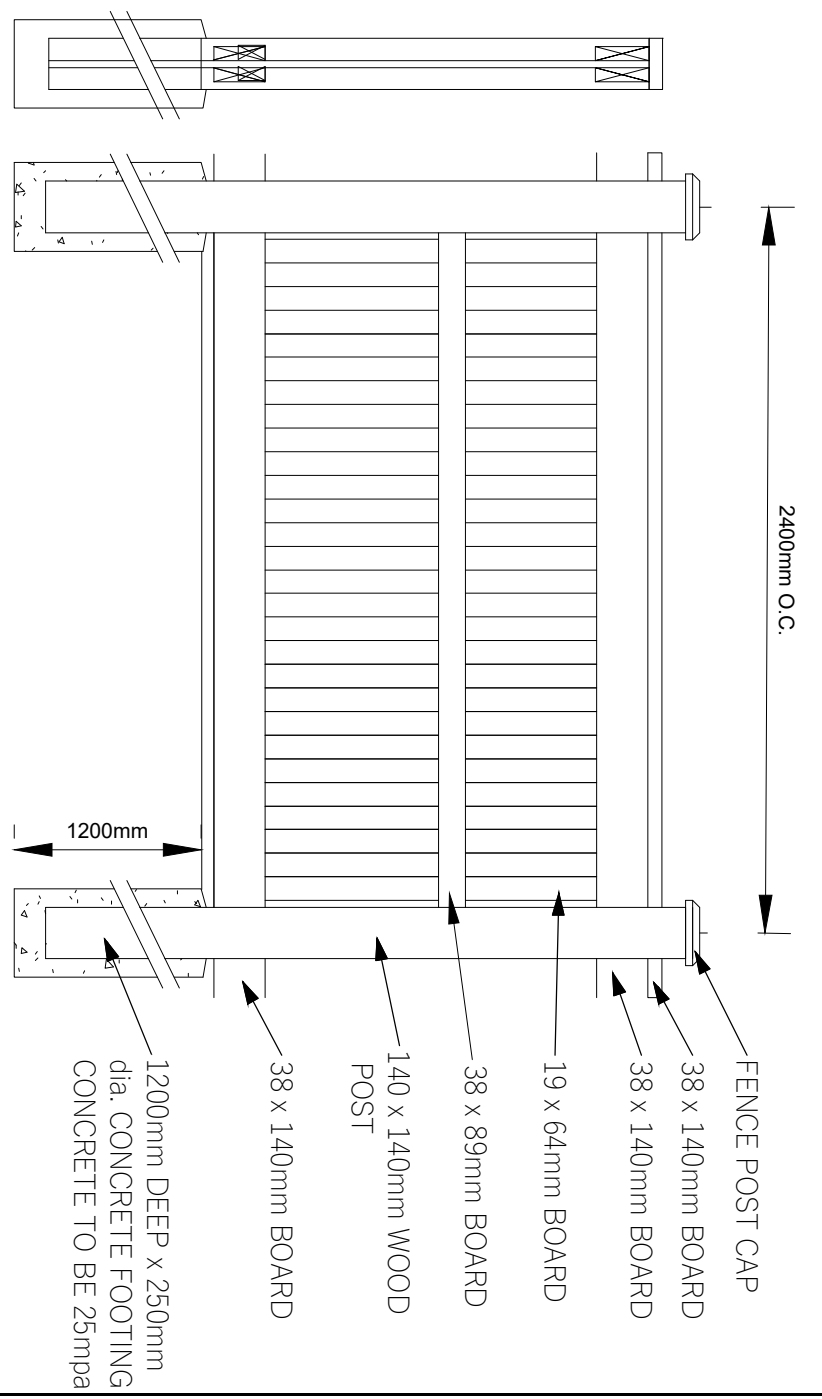
First Floor
**FIRST FLOOR
 PLANTING PLAN**

Drawn	CDM	Sheet
Revised	23-148	
Checked	SW	
Date	10-31-2023	
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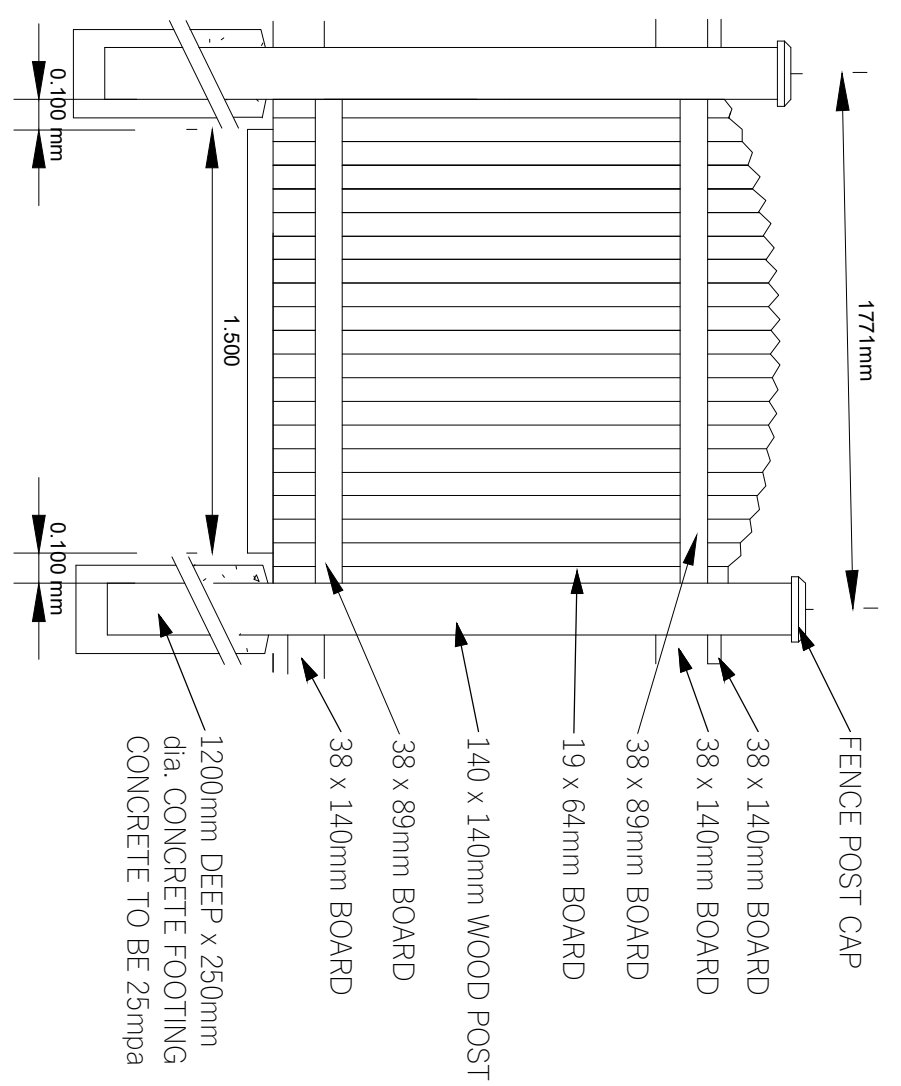
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1ST FLOOR - PLANTING PLAN

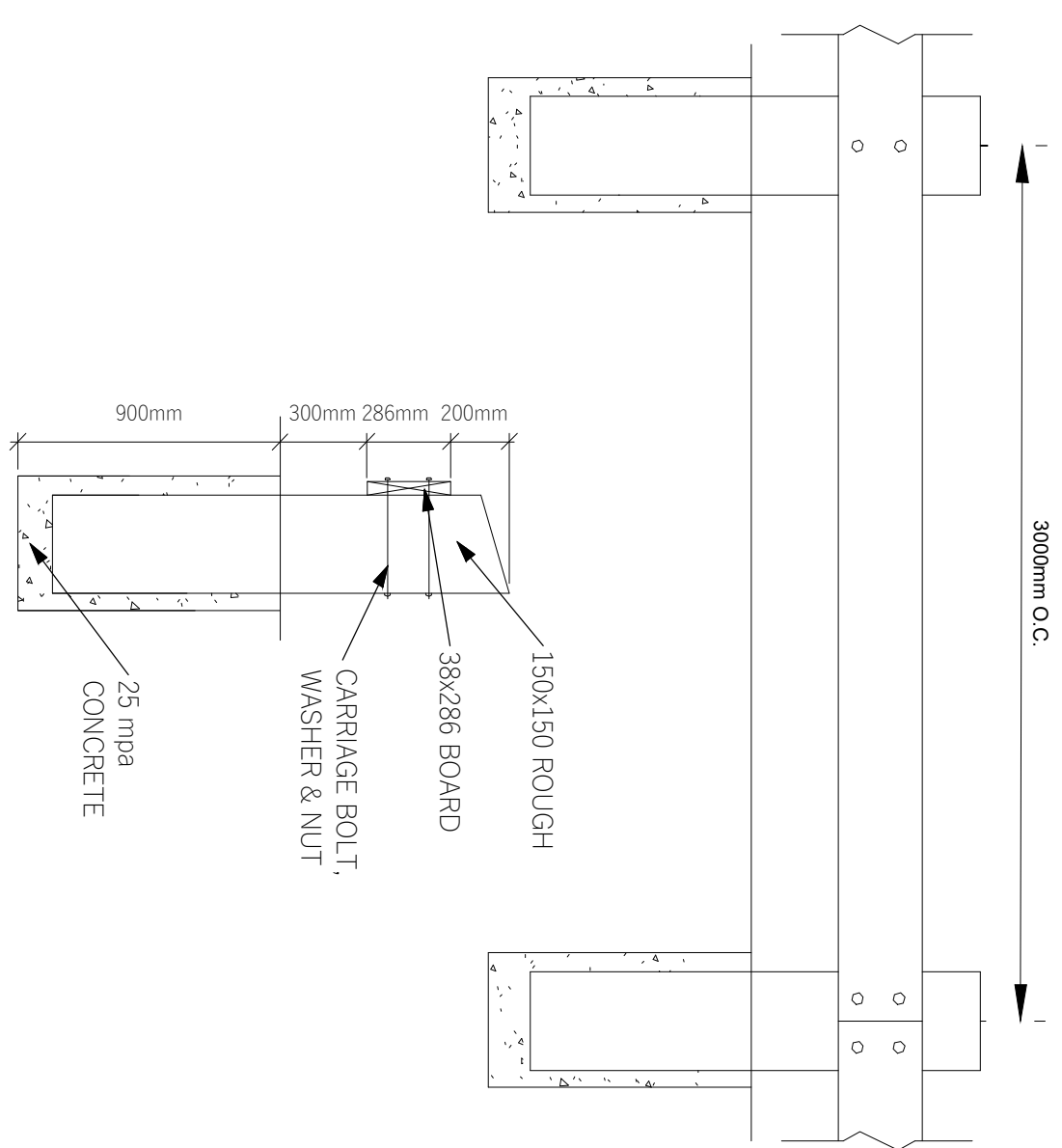
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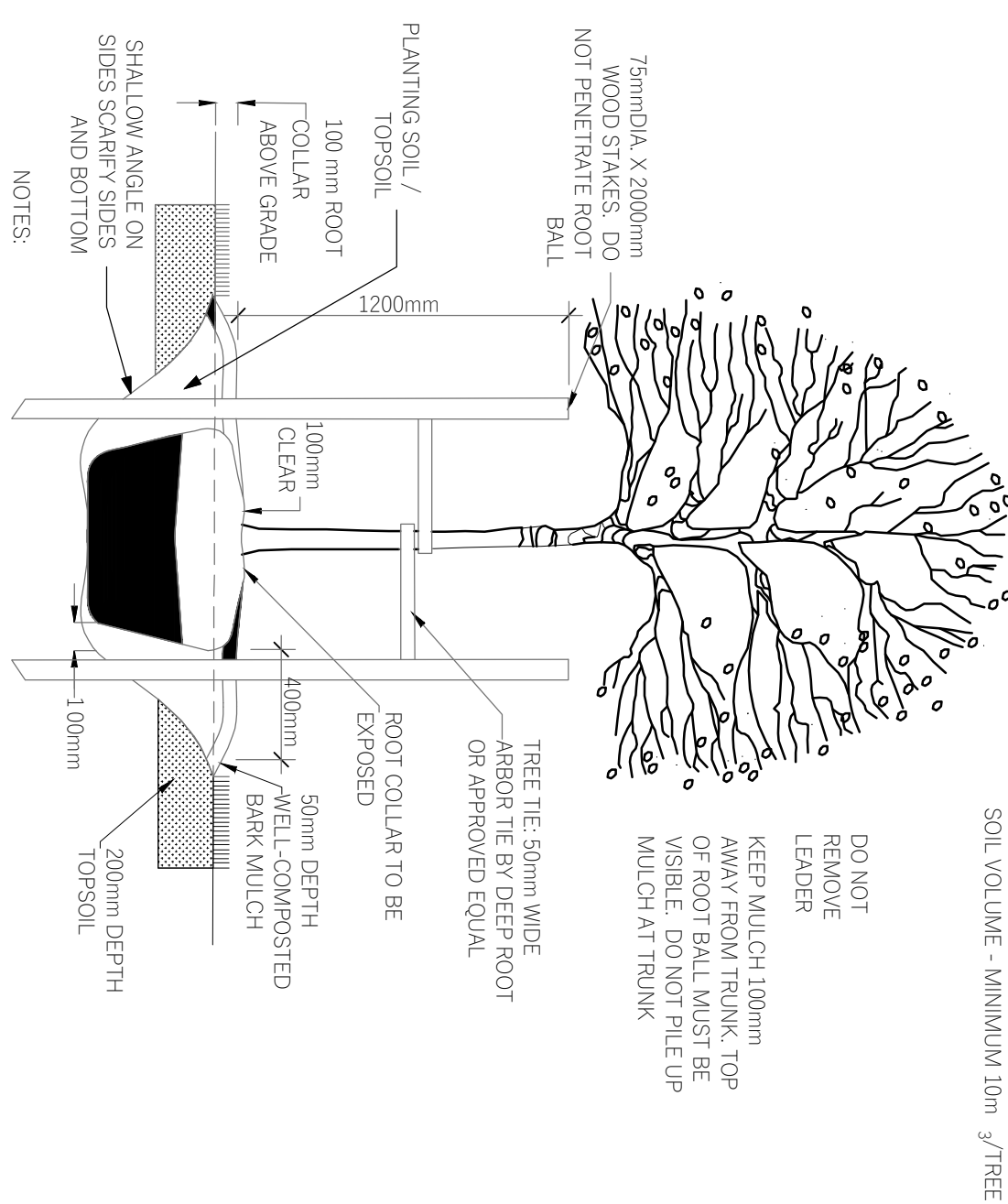
1 1800mm HIGH PRIVACY WOOD FENCE (TYP.)
L4.0 Scale: NTS



2 1800mm WOOD GATE
L3.0 Scale: NTS

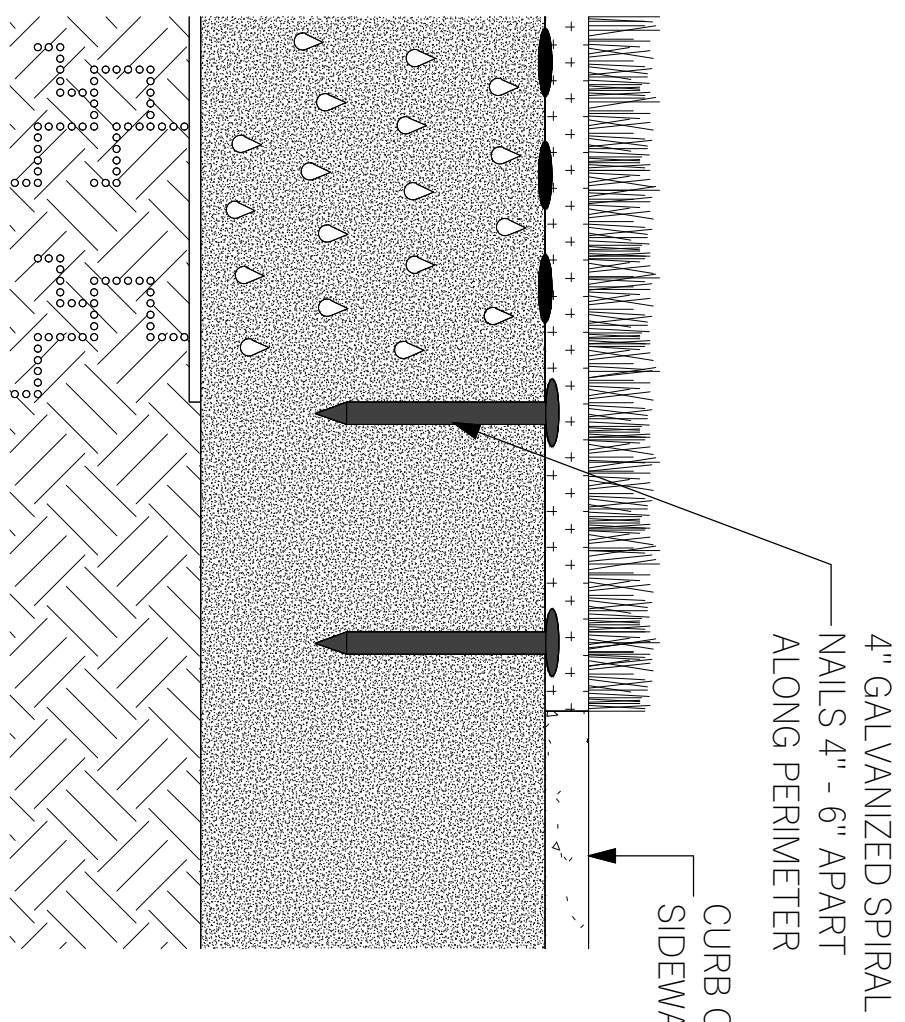


3 BARRIER FENCE
L4.0 Scale: NTS

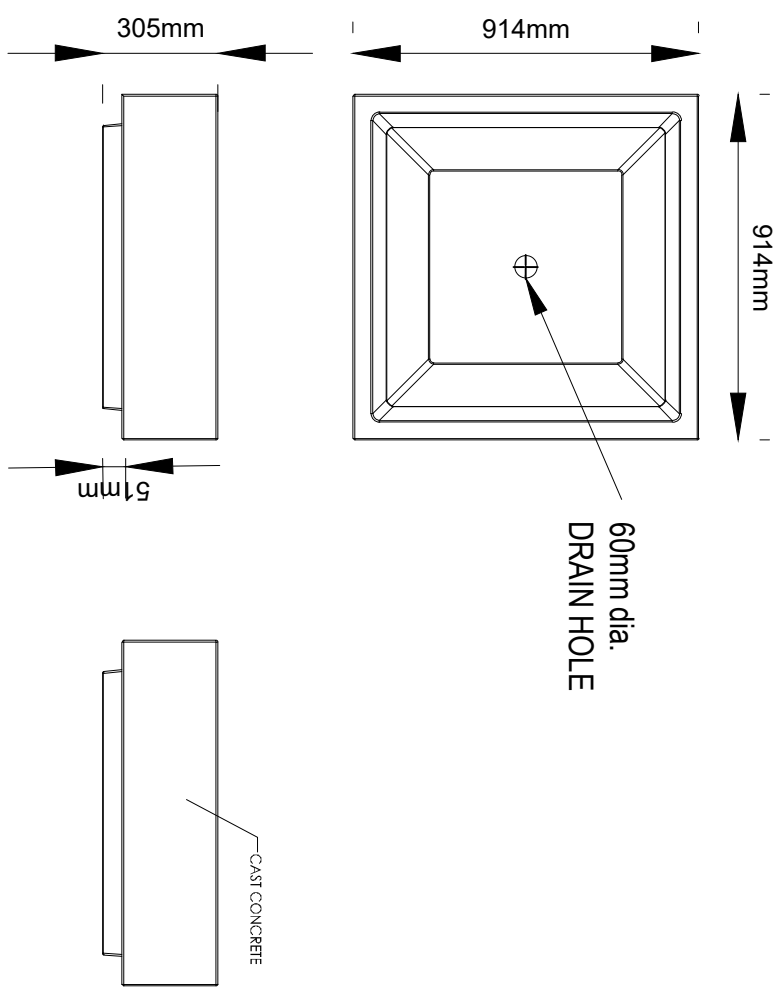


NOTES:
- COVERED SOIL CONDITIONS MUST BE ACCEPTED.
- VERIFY AND LOCKER SERIES OF PLANTING FIT. ENSURE FINAL COMPACTED SOIL IS BOTTLE TOP FIT.
- REMOVE EXCESS MULCH FROM THE TRUNK AND BRANCHES.
- REMOVE DEBRIS FROM THE AREA WITHIN THE HOLES.
- ALL MULCH SHALL BE SPREAD TO WELL COMPACTED SOIL.

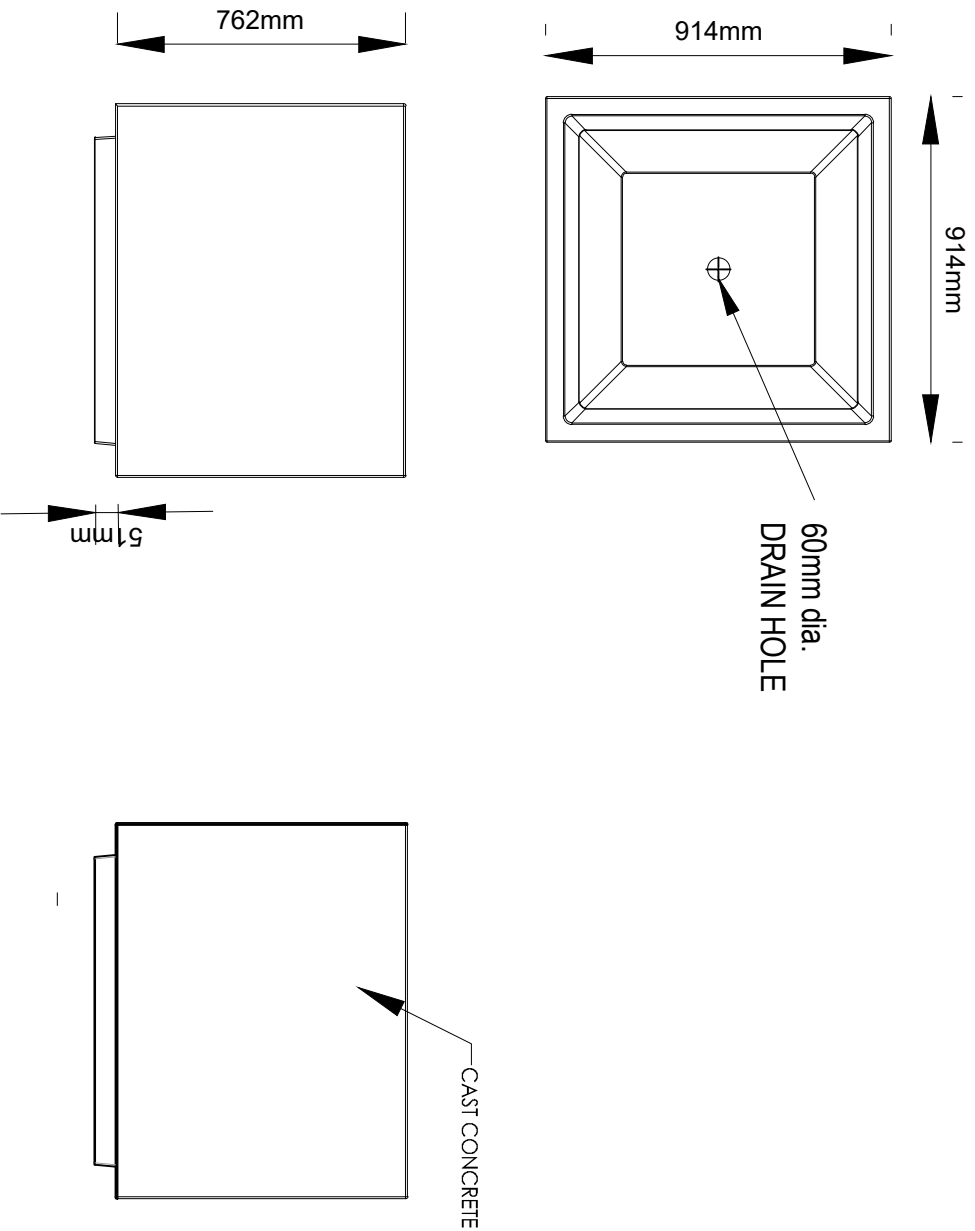
SOIL VOLUME - MINIMUM 10m³/TREE



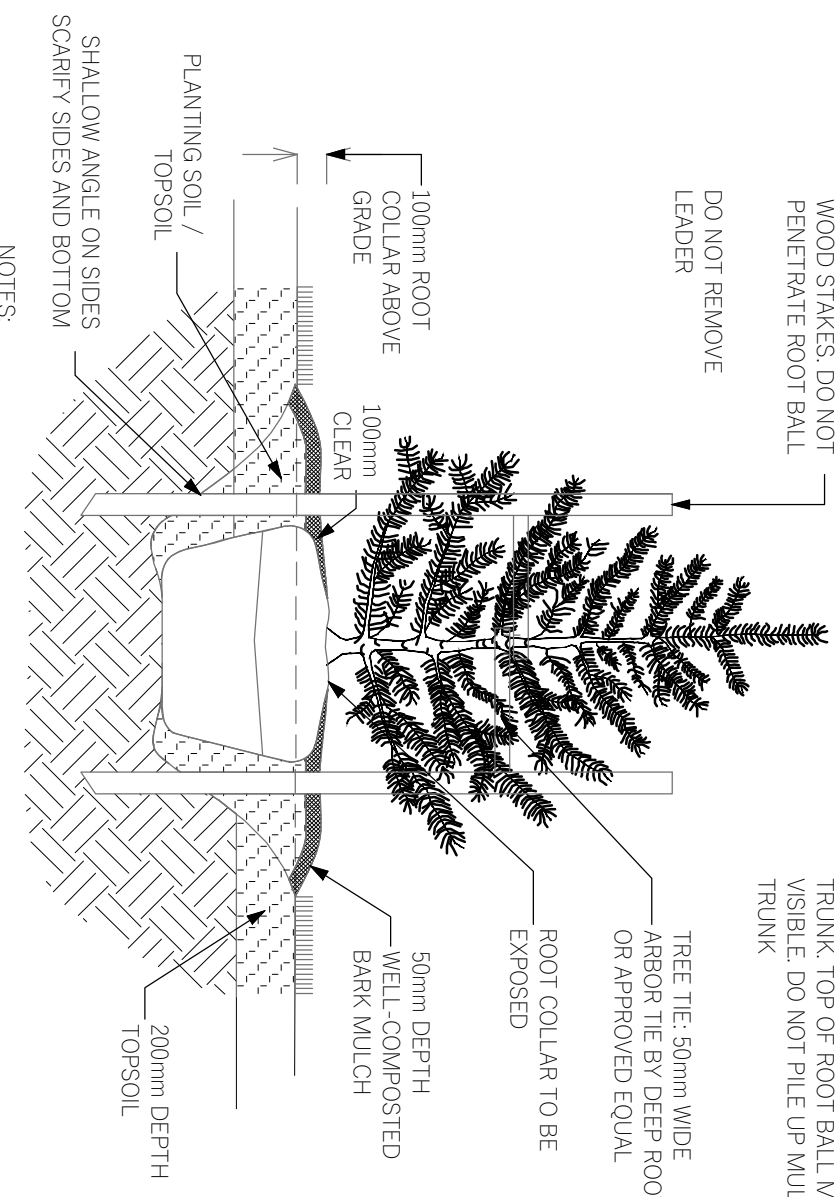
4 SYNTHETIC TURF
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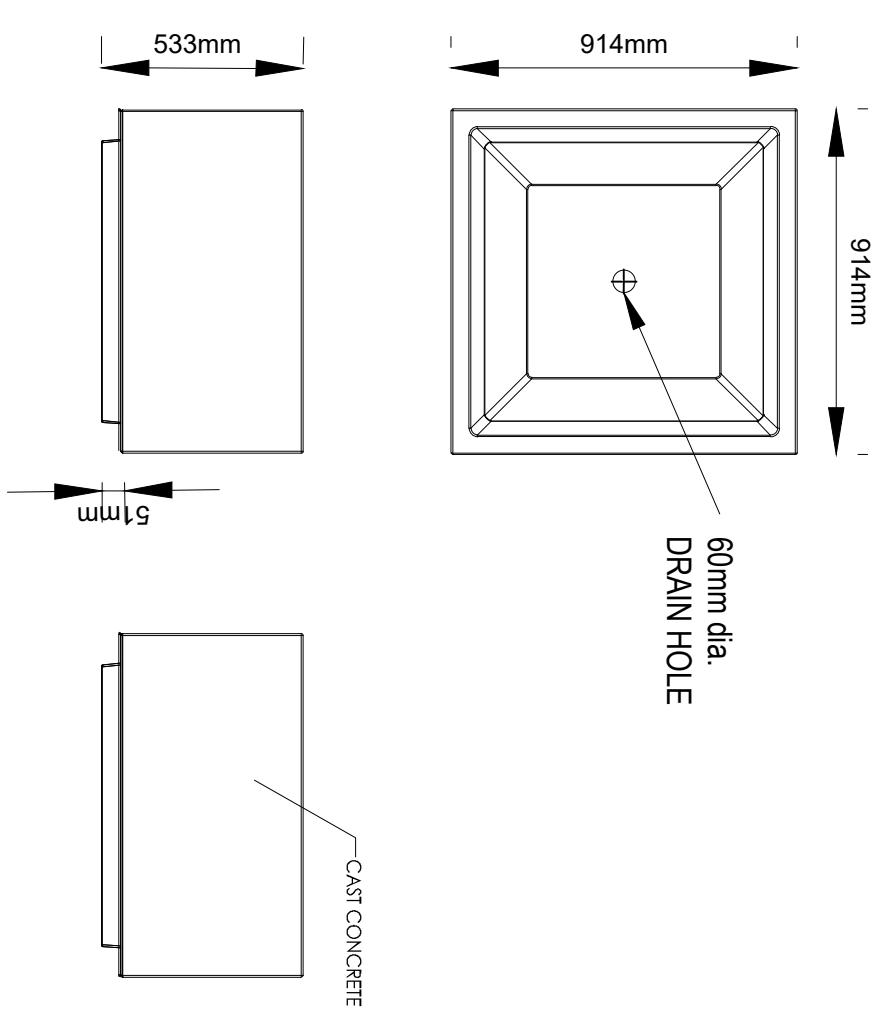
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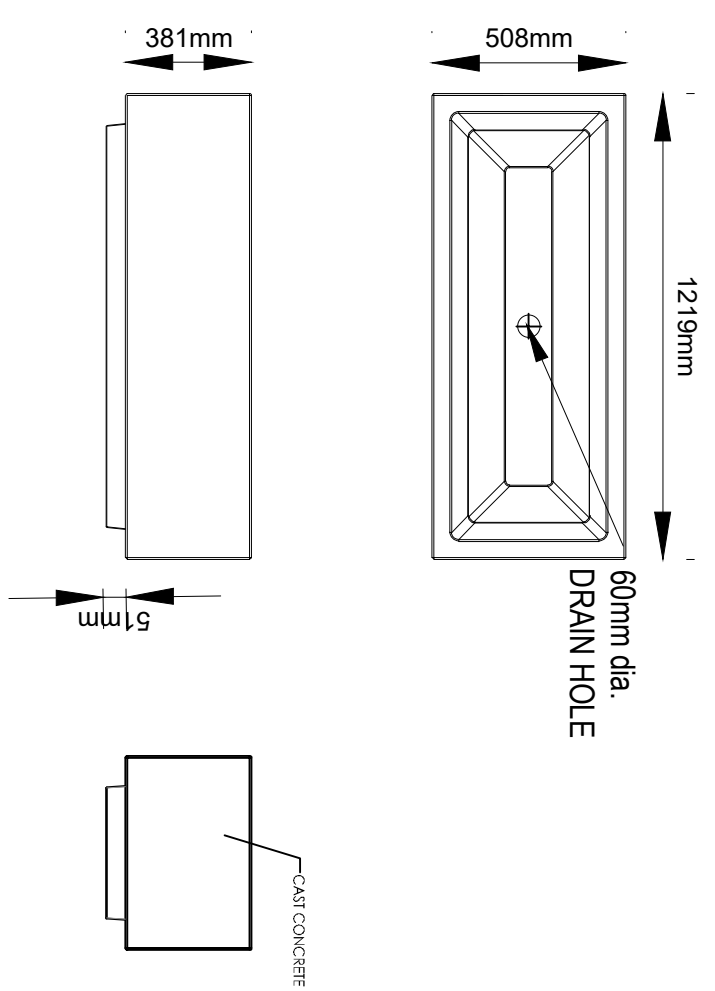
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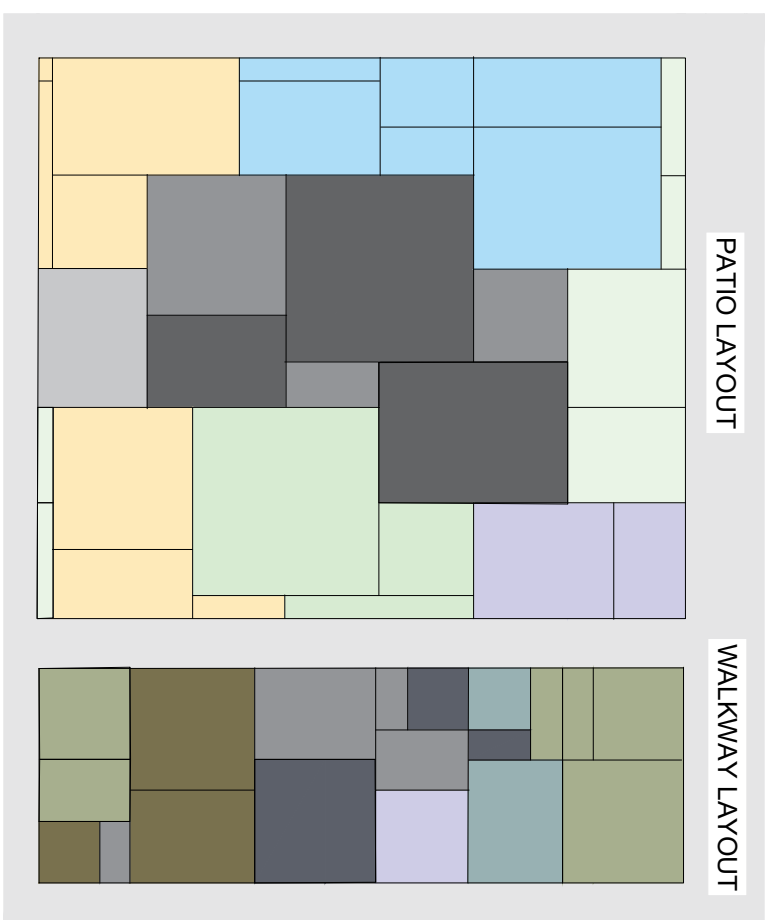
NOTES:
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- VERIFY AND LOCKER SERIES OF PLANTING FIT. ENSURE FINAL COMPACTED SOIL IS BOTTLE TOP FIT.
- REMOVE EXCESS MULCH FROM THE TRUNK AND BRANCHES.
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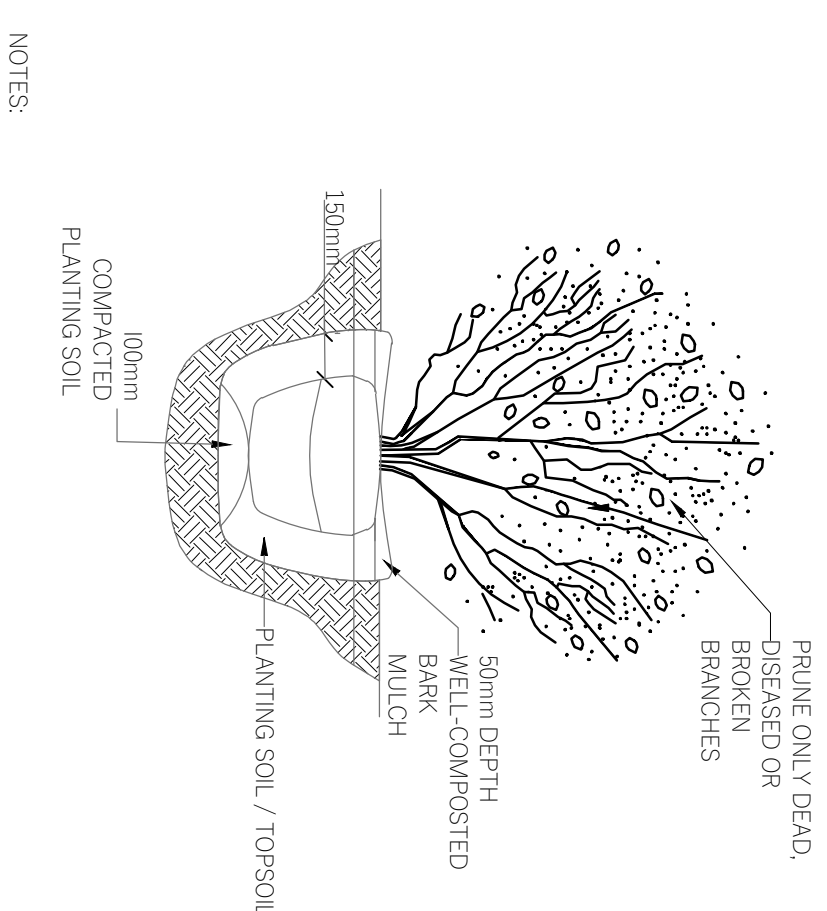
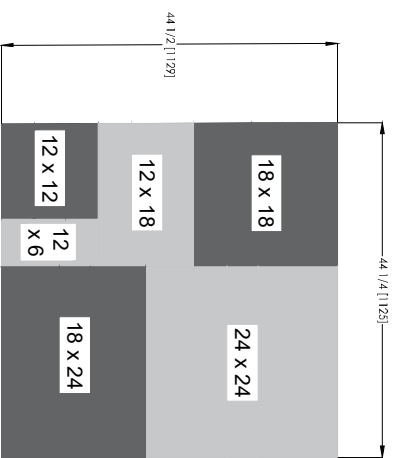
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8 KD-ASP-48
L4.0 NTS

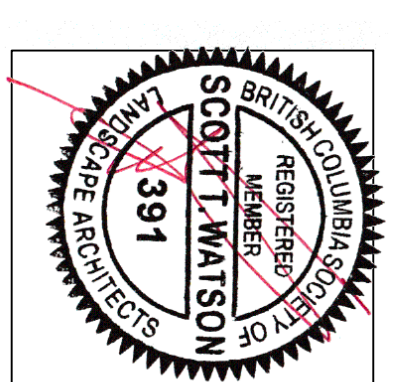


4 PATIO LAYOUT DESIGN
L4.0 NTS



NOTES:
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- VERIFY AND LOCKER SERIES OF PLANTING FIT. ENSURE FINAL COMPACTED SOIL IS BOTTLE TOP FIT.
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Revision/Issue	Date
1 ISSUED FOR DP	11/20/2023



HARRISON CONDO
553 & 555 LILLOOET AVENUE,
HARRISON HOT SPRINGS, BC.

AMR Systems
Topographic Survey / Landscape Architecture / Arborist
Orsted Consulting (Orsted) Project (through Environmental Design)
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CHILLIWACK, BC.
Phone: 604-402-0031
admin@amrsystems.ca

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DETAILS

Drawn	CDM	Sheet
Checked	23-131	
Drawn	SW	
Date	10-31-2023	
Scale		L4.0

PREVIEW BUILDERS INTERNATIONAL INC.

Cost Estimate for Exterior Building Materials

PROJECT: Ancora 2 Project – Village of Harrison Lake
 DP DRAWINGS: by Precision Building Design Associattes LTD. Dated: Nov 17th, 2023
 PREPARE FOR: OTG Developments

		QTY's	Unit	Material Cost/ sf	Install Labour \$	Factors 15% Waste/ Reveals	TOTAL
1	HORIZONTAL HARDIE SIDING 6" Exposure - Cobble Stone	3,874	SF	\$8.46	\$12.00	15%	\$59,024.65
2	Vertical Metal Siding - Westform Corrugated Mist Green	2,422	SF	\$7.14	\$10.00	15%	\$25,935.99
3	HARDIE Shakes - Tanglewood Brown	4,486	SF	\$6.40	\$13.00	15%	\$56,002.78
4	Horizontal Metal Siding - Westform Lap Siding - Durango PVDF Printech	469	SF	\$12.95	\$10.00	15%	\$9,110.33
5	Cultured Stone San Francisco	4,390	SF	\$12.25	\$25.00	15%	\$201,665.63
6	Hardie Fascia - GENTEK Iron Ore	1,282	LF	\$6.45	\$10.00	15%	\$12,403.35

\$364,142.71

PREPARED BY: Buck Lumsden PQS|GSC Estimator Preview Builders

A bylaw to provide for the control and management of the discharge of firearms

WHEREAS section 8(5) of the *Community Charter* authorizes local governments to, by bylaw, regulate and prohibit the discharge of firearms;

AND WHEREAS the Mayor and Council of the Village of Harrison Hot Springs has deemed it advisable to regulate the discharge of firearms,

NOW THEREFORE in open meeting assembled, the Mayor and Council of the Village of Harrison Hot Springs enacts as follows:

1. CITATION

This bylaw may be cited as the Village of Harrison Hot Springs “Discharge of Firearms Bylaw No.1207, 2024”.

2. DEFINITIONS

For the purposes of this bylaw:

“Bylaw Enforcement Officer” means a person appointed from time to time by the Council of the Village for the purpose of enforcing and carrying out provisions of this Bylaw, and shall include any designate so appointed

“Conservation Officer” means an individual appointed under the *Environmental Act* (SBC 2003, Chapter 53) acting in the course of their duties

“Firearm” means a rifle, shotgun, handgun, air gun, spring gun or any device that propels a projectile by means of explosion, compressed gas/air or spring

“Peace Officer” means an officer appointed under the *Police Act* (RSBC 1996, Chapter 367) or the *Royal Canadian Mounted Police Act* (RSC, 1985, c. R-10) acting in the course of their duties

“Village” means the Village of Harrison Hot Springs

3. PROHIBITION

(a) No person shall discharge a Firearm in any area located within the boundaries of the Village of Harrison Hot Springs as outlined by the bold, black line on Schedule A of this Bylaw.

- (b) No person shall discharge a Firearm in such a way that the projectile goes into, over or through any area within the boundaries of the Village.

4. EXCEPTIONS

The provisions of this Bylaw do not apply to a Peace Officer or Conservation Officer who discharges a Firearm in the lawful performance of their duties.

5. ENFORCEMENT

- (a) This Bylaw may be enforced by a Bylaw Enforcement Officer or a Peace Officer.
- (b) No person shall interfere with, obstruct, or impede a Bylaw Enforcement Officer carrying out his or her duties in accordance with this Bylaw.

6. OFFENCE AND PENALTY

- (a) Every person who contravenes or violates any of the provisions of this Bylaw, who suffers or permits any act to be done in violation of this Bylaw, or who fails or neglects to do anything required to be done by any provision of this Bylaw, commits an offence against this Bylaw and is liable to the penalties hereby imposed.
- (b) Each day that the offence continues shall constitute a separate offence.
- (c) Every person who commits an offence against this Bylaw is guilty of an offence and is liable, upon summary conviction, to a fine not exceeding the maximum set out in the *Offence Act* (RSBC 1996, Chapter 338) as amended from time to time.

7. SEVERABILITY

If any section, subsection, sentence, clause or phrase of this bylaw is, for any reason, held to be invalid by the decision of any Court of competent jurisdiction, the invalid portion shall be severed and the decision that it is invalid shall not affect the validity of the remainder of this bylaw.

8. REPEAL

The Village of Harrison Hot Springs Bylaw No. 120, 1958 is hereby repealed in its entirety.

READINGS AND ADOPTION

READ A FIRST TIME THIS 6th DAY OF MAY, 2024

READ A FIRST TIME THIS 6th DAY OF MAY, 2024

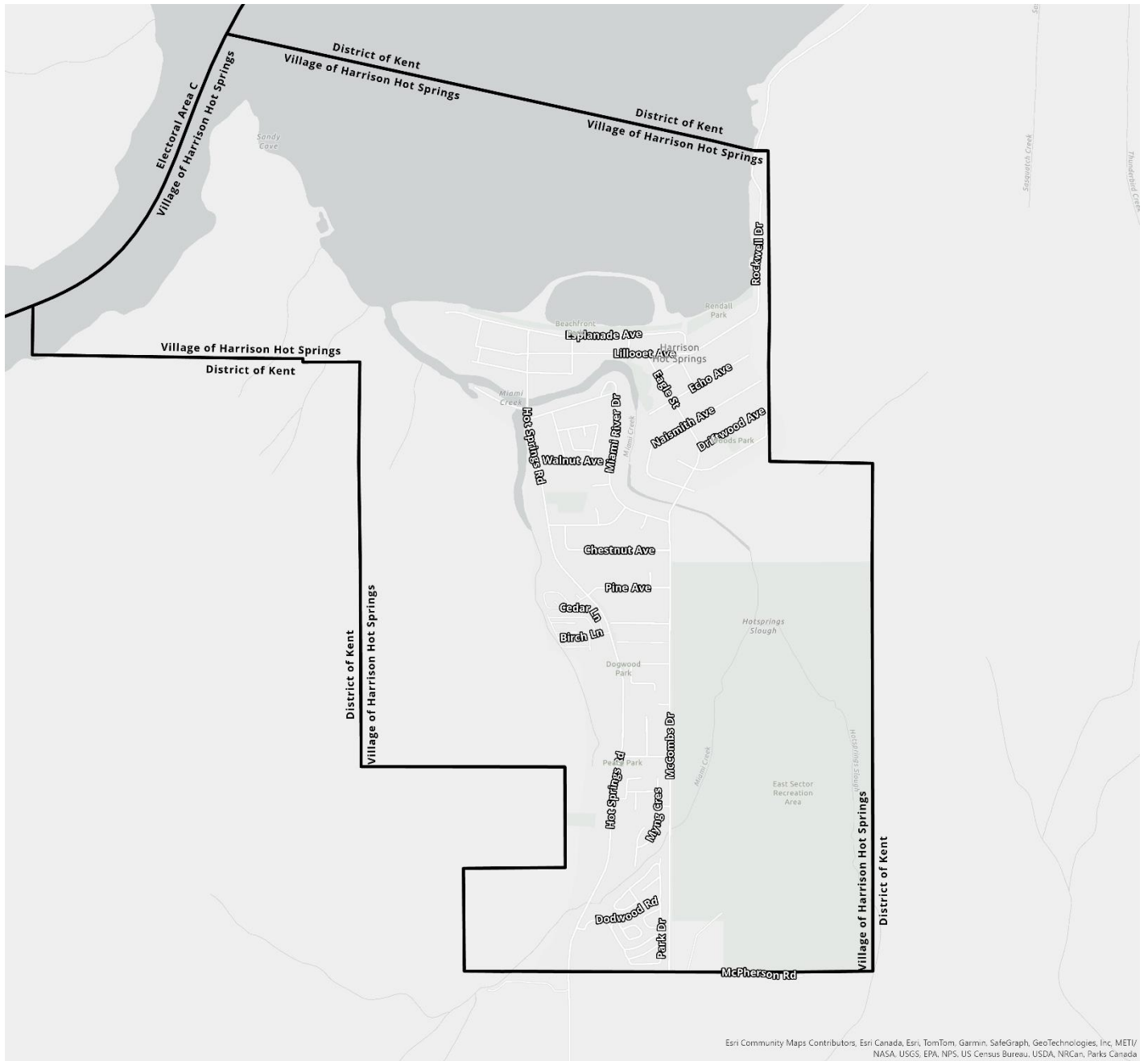
READ A FIRST TIME THIS 6th DAY OF MAY, 2024

ADOPTED THIS DAY OF , 2024

Mayor

Corporate Officer

SCHEDULE A



Esri Community Maps Contributors, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METV, NASA, USGS, EPA, NPS, US Census Bureau, USDA, NRCan, Parks Canada

File No: 3900-20
Date: May 21, 2024

To: Mayor and Council
From: Ken Cossey, Planning Consultant
Subject: Small-Scale Multi-Unit Housing Requirements

RECOMMENDATIONS

THAT Council direct staff to apply for an exemption on the prescribed number of housing units on a given Lot, commonly referred to as Site Standards B and C; and

THAT Council direct staff to post the required public notice for the adoption of the attached Zoning Amendment Bylaw No 1208, 2024.

SUMMARY

In the fall of 2023, the province introduced a suite of changes to the *Local Government Act* to accommodate changes to zoning regulations related to certain dwelling types. The focus of the required changes is to allow for small-scale, multi-unit housing (SSMUH) in land use zones that have traditionally been restricted to single-family or duplexes uses. These zones have been referred to as “restricted zones” in the legislation. Even though the legislation discusses the restricted zones, within the SSMUH standards guideline lot sizes are also considered when allowing the prescribed number of housing units that must be permitted on a given restricted zone lot. The lot sizes indicated in the SSMUH guideline ranges from less than 280 M² to 4,050 M². Within the Village, the restricted zones are limited to the R1, R2 zones and the occasional commercial zone that have either a single-family dwelling or duplex on them.

BACKGROUND

The focus of the changes to the provincial legislation is to require local governments to permit between 2 to 6 housing units in residential areas that are otherwise restricted to single family dwellings and duplexes. Harrison Hot Springs, and the other local governments across BC are required to update their Zoning Bylaws to permit the prescribed minimum SSMUH densities on single family and duplex lots. Secondary suites or Coach Houses, referred to as Additional Dwelling Units (ADU) will be permitted almost everywhere in the province and “more” urban areas will be required to permit three to six units on each of the restricted zones. For the Village the extra dwellings would apply to the R-1 and R-2 Zones, as outlined on the attached map. The new legislation would affect the following number of lots, as per the lot size requirements mandated by the province.

1. 494 lots – in the R-1 and R-2 zones (the parcel size ranges from 280 M² to 1215M²)
2. 42 lots – in the R-1 and R-2 zones (the parcel size ranges from greater than 1215 M² to less than 4050 M²).

As per the SSMUH Site Standards, as outlined on page 65, there are four standards that have been prepared for the different SSMUH unit requirements.

Site Standards Package	Lot Size	Units Required
A	All restricted zones	Either just a Secondary suite, Coach House or both
B	Less than 280M ² to less than 1215 M ²	3 or 4
C	Greater than 1215M ² to less than 4050 M ²	4
D¹	At least 281M ² in size	6

Notes:

1. Is wholly or partially within 400M of a prescribed bus stop (due to the definition of the term prescribed bus stop, this is not applicable to the Village)
2. Within a municipality with a population of 5,000 or greater (not applicable to the Village)

Listed below is a summary of the SSMUH dwelling unit requirements.

Minimum number of units	Characteristics of the lots to which the requirements apply
Minimum of two units	A minimum of one secondary suite and/or one Coach House (ADU) for each lot must be permitted in the <i>Restricted Zone</i> . (The Village can permit one or both. The Village’s current Zoning Bylaw indicates this in the R2 zone but not in the R1 zone)
Minimum of three units	A minimum of three (3) units must be permitted on each lot 280 m ² or less in a <i>Restricted Zone</i> .
Minimum of four units	A minimum of four (4) units must be permitted on each lot greater than 280 m ² in a <i>Restricted Zone</i> .
Minimum of six units	A minimum of six (6) units must be permitted on each lot in a <i>Restricted Zone</i> that is: <ol style="list-style-type: none"> a) wholly or partly within 400 metres of a prescribed bus stop, and b) is 281 m² or greater in area. One of the six units that must be permitted may be required to be affordable or special needs housing.

The SSMUH requirements also prohibit the Village from doing the following:

1. Holding a public hearing on a zoning bylaw or any amendments proposed for the sole purpose of complying with the SSMUH legislation. Even with this requirement though, the Village must prepare a public notice of no public hearing before the first reading of the bylaw. The notice must follow the 3- and 10-day rule.

Steps Completed

To ensure compliance with the legislation before the June 30, 2024, deadline, staff have worked on and completed the work plan outlined below.

1. Reviewed the Zoning Bylaw to identify impacted zones.
2. Worked with the FVRD Mapping Department to identify exempted lots and lots to which the various density requirements will apply.
3. Need to consult with the public works and engineering staff to review infrastructure servicing capacity and identify any areas for which an extension should be requested on the basis of infrastructure upgrades underway that prevent compliance by June 30th, 2024.
4. Consulted the Province’s Policy Manual and Site Standards to identify updates for the Zoning Bylaw that will allow the required number of housing units in selected zones. This work will require identifying appropriate setbacks, heights, parking regulations, and other technical requirements for the zones subject to SSMUH.
5. Identified other plans, policies, and regulations that may be impacted by the zoning bylaw changes and prioritized them for review and updates in consultation with relevant departments.
6. Consulted as and when required throughout the process with legal counsel.
7. Presented a Zoning Amendment Bylaw to Council with sufficient lead time for its adoption prior to June 30, 2024.

DISCUSSION

Based on preliminary analysis of the SSMUH legislation, the requirements for three to four units will apply to various Lots, as outlined on the attached map, within the Village of Harrison Hot Springs.

Exemption to the SSMUH requirements

If required, the Village can apply for an exemption to the addition of three to six units. The criterion for the exemption is outlined below:

- Land protected by the *Heritage Conservation Act*;
- Land, which is designated as heritage, under Part 15 of the *Local Government Act*, prior to the legislation coming into force;
- Land that is not connected to water and sewer system provided by a local government; and
- Land that is larger than 4,050 m²

Additionally, regulations which came into force on December 7, 2023, establish further exemptions for areas from SSMUH:

- Areas captured within a Transit Oriented Area (TOA), as noted by *Housing Statutes (Transit-Oriented Areas) Amendment Act*, 2023, S.B.C. 2023, c. 48, are exempted

from the 3, 4, 6-unit requirements as the TOA regulation will allow higher densities of housing. (Please note that the Village has not been designated as a TOA)

- Land which is subject to:
 - a. hazardous conditions;
 - b. the threat or risk from the hazardous conditions would increase if the density permitted under this legislation is achieved; and
 - c. the hazardous condition cannot be practically mitigated, is exempt from the SSMUH legislative requirements.

In order to be granted a hazardous exemption, the Village must have a report prepared by a qualified professional which certifies either a. or b. above. For a hazardous exemption, the Village is required to provide a written notice to the Province.

FINANCIAL CONSIDERATIONS

Additional costs associated to this bylaw include the hiring of a geotechnical professional to complete a review on the placement of extra dwelling units on a floodplain and the potential impact.

POLICY CONSIDERATIONS

Short Term Rental Accommodations Act
Housing Statues (Residential Development) Amendment Act
Housing Statues (Transit-Oriented Areas) Amendment Act
 Small-Scale, Multi-Unit Housing Policy Manual and Site Standards

Respectfully submitted:



Ken Cossey, MCIP, RPP
 Planning Consultant

Reviewed by:



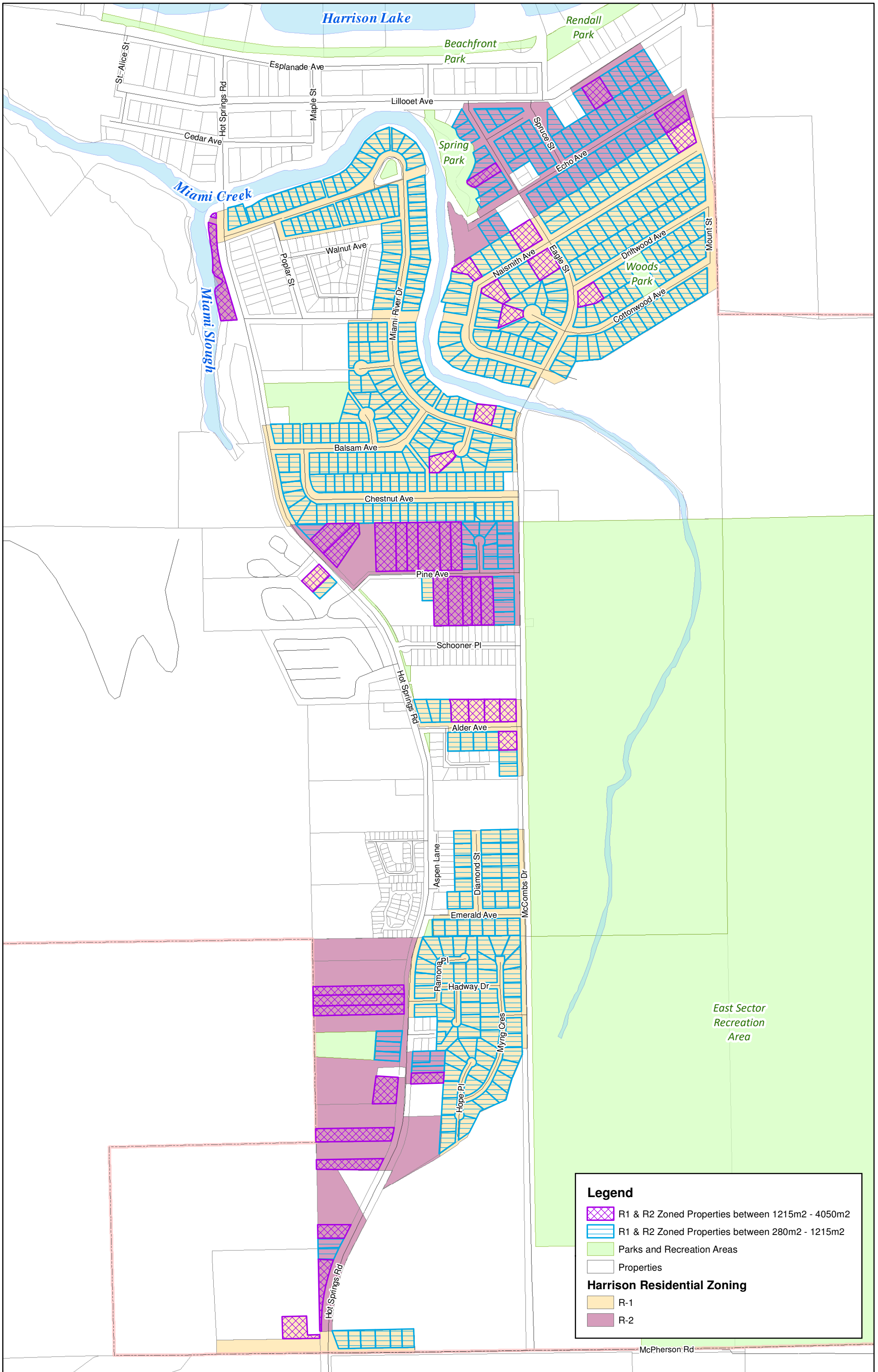
Tyson Koch
 Chief Administrative Officer

Financial Considerations Reviewed by:



Scott Schultz
 Chief Financial Officer, Deputy CAO

- Attachments (2):
1. SSMUH Map, dated May 2024
 2. Draft Zoning Amendment Bylaw No. 1208, 2024
 3. Excerpt from Draft Consolidated Zoning Bylaw No. 1115, 2017 showing proposed amendments





**VILLAGE OF HARRISON HOT SPRINGS
BYLAW NO. 1208, 2024**

**A bylaw to amend the Village of Harrison Hot Springs
Zoning Bylaw No. 1115, 2017**

WHEREAS the Mayor and Council has deemed it advisable to amend the Village of Harrison Hot Springs Zoning Bylaw No. 1115, 2017, the Zoning Bylaw for the Village of Harrison Hot Springs, as adopted May 7, 2018;

NOW THEREFORE in open meeting assembled, the Mayor and Council of the Village of Harrison Hot Springs enacts as follows:

CITATION

1. This Bylaw may be cited for all purposes as the "**Village of Harrison Hot Springs Zoning Amendment Bylaw No. 1208, 2024**".

2. **TEXT AMENDMENT**

That:

- (a) Under section 4.3 (a) the following is deleted in its entirety;

"Accessory Residential Suites will be permitted for all uses, except in a Duplex Dwelling, a Townhouse, Apartments and Mobile Homes."

The following is inserted in its place:

"R-1 and R-2 Zones are the only zones where Residential Suites are permitted."

- (b) Under Section 4.10 (a)(i) the following is deleted in its entirety;

"Coach Houses will be allowed in the following Zone Only:

- i) Residential 2 (Duplex Zone) R2"

The following is inserted in its place:

"Coach Houses will be allowed in both the R-1 and R-2 Zones."

- (c) Under section "6.1.1 Residential Parking Requirements", and under the categories of Detached Dwelling and Duplex Dwellings, the required Number of On-site Parking Stalls the following; "2 per Dwelling Unit" are deleted in their entirety.

The following is inserted in their place:

“1 per Dwelling Unit”

- (d) Under section “7.1.1 Residential Uses”, in the subsection titled “Accessory Uses”, in the row titled “Accessory Residential Suite or a Coach House, but not both”, a diamond is inserted in the R-1 Zone column and the following sentence is inserted after “Accessory Residential Suite or a Coach House, but not both”:

“The Accessory Residential Suite or the Coach House must be above the 14.55M FCL”

- (e) Under the Development Regulations for the Residential Zones, for both the R-1 and R-2 Zones, the following Minimum Front Setback number of “7.5” is deleted in its entirety.

The following is inserted in its place:

“6”

- (f) Under the Development Regulations for the Residential Zones, for both the R-1 and R-2 Zones, the following Minimum Rear Setback number of “7.5” is deleted in its entirety.

The following is inserted in its place:

“The Rear Setback is 6 M for the Principal Building or Structure and is a minimum of 1.5 M for the Coach House”

- (g) Under the Development Regulations for the Residential Zones, for both the R-1 and R-2 Zones, the following Minimum Interior and Exterior Setback numbers of “1.5” and “3.6” are deleted in their entirety.

The following is inserted in their places:

“1.2”

- (h) Under the Development Regulations for the Residential Zones, for both the R-1 and R-2 Zones, the following Maximum Height number of “10.7” is deleted in its entirety.

The following is inserted in its place:

“11”

- (i) Under the Development Regulations for the Residential Zones, a row titled “Maximum Number of Storeys” is inserted between the Maximum Height (m) and the Minimum Amenity Area (m²), with the following inserted in both the R-1 Zone and R-2 Zone columns:

“3 storeys for the principal dwelling, 2 storeys for the Coach House”

In the R-3 Zone, R-4 Zone and R-5 Zone columns, the following is inserted:

“NA”

- (j) Under the Residential Accessory Building or Structure Regulations, the following row titled “Maximum Height for Coach Houses (m)” is inserted, after the Maximum Height (m) row, with the following inserted in both the R-1 Zone and R-2 Zone columns:

“8”

In the R-3 Zone, R-4 Zone and R-5 Zone columns, the following is inserted:

“NA”

A PUBLIC NOTICE WAS PUBLISHED ON THE _____ DAY OF _____, 2024.

READ A FIRST TIME THIS _____ DAY OF _____ 2024.

READ A SECOND TIME THIS _____ DAY OF _____ 2024.

READ A THIRD TIME THIS _____ DAY OF _____, 2024.

REVIEWED BY THE MINISTER OF TRANSPORTATION,
AS PER S. 52 OF THE *TRANSPORTATION ACT* THIS _____ DAY OF _____ 2024.

ADOPTED THIS _____ DAY OF _____, 2024.

Mayor

Corporate Officer

4.2 Accessory Buildings or Structures and Uses

- a) Buildings, Structures or uses must comply with the following:
- i) an Accessory Building or Structure must not be situated on a Lot unless the Permitted Building or Structure, to which the Accessory Building or Structure is incidental, has already been erected or will be erected simultaneously with the Accessory Building or Structure on the same Lot, with the exception of one Accessory Building or Structure not exceeding 25 m² of the Gross Floor Area, used only for storage purposes;
 - ii) a Garage or Carport attached to a Permitted Building or Structure, by an enclosed, heated area that is not more than 5 m in length, is deemed to be a portion of the Permitted Building or Structure;
 - iii) Land comprising the common property in a strata plan may be used for purposes Accessory and customarily incidental to Permitted Uses on the strata Lots within the same strata plan. For the purposes of Accessory Buildings or Structures that may be constructed on common property, the same Setbacks, Building or Structure height, Lot coverage and other Building or Structure standards apply as those which apply to strata Lots in the same Zone; and
 - iv) no part of an Accessory Building or Structure must be used for Residential Use purposes or Tourist Accommodations purposes, except as otherwise provided for in this Bylaw.

4.3 Accessory Residential Suites

- a) ~~Accessory Residential Suites will be permitted for all uses, except in a Duplex Dwelling, Townhouse, Apartments, Mobile Homes; R-1 and R-2 Zones are the only zones where Residential Suites are permitted.~~
- b) Unless a Zone specifically provides for otherwise, only one (1) Accessory Residential Suite is permitted per Lot;
- c) Where a Lot is not serviced by the Municipal Community Sewer System, written confirmation from the applicable licensing body that the capacity of the Lot's sewer system will not be compromised by the presence of an Accessory Residential Suite is required;
- d) Accessory Residential Suites must have a total Gross Floor Area of not more than 90.0 m². For the purposes of this section, the Gross Floor Area does not include areas used for common storage, common laundry facilities, or common areas used for access or egress. In addition to the total size of the suite, the Accessory Residential Suite must have an area of less than 40% of the habitable area of the Detached Dwelling. For the purposes of this section, the habitable area calculation does not include the attached garage;
- e) Accessory Residential Suites cannot be subdivided from the Building or Structure of which it is part of under the *Strata Property Act*, as amended from time to time; and
- f) One off-street parking space in addition to those required for the Permitted Use must be provided.

4.4 Fences, Screening and Retaining Walls

4.4.1 Fences and Retaining Walls

- c) For the purposes of this Bylaw, railroad cars, truck vans, converted Manufactured Homes, travel trailers, recreational vehicles, bus bodies, vehicles and similar prefabricated items and Structures originally built for purposes other than storage are not permitted as accessory storage Buildings or Structures.

4.8 Swimming Pools, Spas and Hot Tubs

- a) Where a Residential or a Commercial Use is Permitted, a swimming pool, spa or hot tub is Permitted as an Accessory Use, in accordance with the following provisions:
 - i) any swimming pool, spa or hot tub must not be located within 15.0 m of a Front Lot Line or within a required Side or Rear Lot Line Setback;
 - ii) above ground pools must have a maximum height of 2.5 m; and
 - iii) the combined area of the swimming pools, spa or hot tub must not exceed 15% of the total Lot area.

4.9 Tourist Accommodation

- a) In any Zone where a Tourist Accommodation use is Permitted the following regulations apply:
 - i) no noise, vibration, smoke, dust, odors, heat, glare, electrical or radio disturbance detectable beyond the property boundary must be produced by Tourist Accommodation;
 - ii) meals may be provided to customers of a Tourist Accommodation only and not the Community; and
 - iii) any person intending to operate a Tourist Accommodation must hold a valid and current Business License from the Village.

4.10 Coach Houses

- a) Coach Houses will be allowed in the following Residential Zone only:
 - i) ~~Residential 2 (Duplex) R2.~~ Coach Houses will be allowed in both the R-1 and R-2 Zones.
- b) The distance between the Permitted Residential Dwelling unit and the Coach House must be a minimum of 3.0 m;
- c) The combined Gross Floor Area of all Accessory Building or Structures on the Lot, including the Coach House, must not exceed 90 m²; and
- d) Coach houses are not permitted on a Lot, unless a connection to both a Community Sewer and a Community Water System exists.

4.11 Coach House or Residential Accessory Suite

- a) On any Lot where a Coach House or a Residential Accessory Suite are permitted, either a Coach House or a Residential Accessory Suite is permitted but not both.

- of benches, pews, booths or similar seating accommodation, each 0.5 m² of seating area must be deemed to be one seat;
- h) All Multiple Unit Residential, mixed Residential and Commercial Development must provide bicycle parking at a rate of 20% of the required vehicle parking;
 - i) All Multiple Unit Residential, mixed Residential and Commercial Developments requiring at least 20 parking spaces must provide at least one electric vehicle charging outlet, which is readily accessible for charging a vehicle in a required parking space;
 - j) For any Use required to be Accessible to persons with a disability by the *BC Building Code*, as amended from time to time, a minimum of one parking space for a person with a disability must be provided;
 - k) Where 20 or more parking spaces are required by this Bylaw, the required spaces must be Accessible to persons with a disability, as outlined in the table below;

Total Required Parking Stalls	Required Number of Disability Parking Spaces
20-50	4
81-110	6
111-140	8
141-170	10

- l) The parking requirements established in this section do not apply to a Building or Structure or use existing prior to the adoption date of this Bylaw, provided there is no change, expansion or addition to the Building or Structure or use that requires more parking spaces than were required for the existing Building or Structure or Use when this Bylaw was adopted. If there is an expansion or addition to an existing Use or Building or Structure, then the provisions of this section apply to the expansion or addition; and
- m) For the purposes of this Bylaw the required parking spaces have been broken into the following categories of uses:
 - i) Residential;
 - ii) Commercial; and
 - iii) Community.

6.1.1 Residential Parking Requirements

Land Use	Required Number of On-site Parking Stalls
For All Residential and Similar Land Uses	
Accessory Building & Structure	N/A
Home Occupation	1 per employee
Accessory Residential Suites	1 per suite
Detached Dwelling	2 1 per Dwelling Unit
Apartment	1.25 per Dwelling Unit (includes a visitor parking area)
Coach Houses	1 per Dwelling Unit
Duplex Dwellings	1 2 per Dwelling Unit
Townhouse Dwellings	2 per Dwelling Unit and .25 per Unit for the visitor parking area

provisions of this section apply to such expansion or addition.

6.6 Off-Street Parking Agreement for Commercial Uses

- a) As an alternative to meeting the parking standards of this Bylaw for a change to an existing use or new Development that would result in an increase in the number of required parking spaces, the additional required off-street parking spaces may be located on a Lot other than that upon which the Use, Building or Structure intended to be served are located, provided the off-site parking is secured by an agreement in accordance with the following:
- i) the agreement must indicate and be registered on title of the Development site and the individual offering the Lot;
- the location and number of parking spaces provided off-site,
 - the terms of any lease or rental agreement between the owner of the off-site parking area and the owner of the Building, Structure or use requiring off-site parking spaces,
 - the terms for the maintenance and where applicable the construction of the off-site parking area;
 - the agreement must require the approval of the Municipality and the Municipality must be a co-signatory; and
- ii) all costs associated with preparing the agreement must be paid by the owner of the Use, Building or Structure that the off-site parking spaces are intended to serve.

6.7 Parking or Storage of Vehicles

- a) In any Residential Zone, no more than the numbers and types of Motor Vehicles set up below will be permitted to be parked or stored on a Lot:
- i) four Motor Vehicles, one of which may be a truck or school bus not exceeding 4,500 kilograms gross Motor Vehicle weight or one-horse trailer or camper or recreation vehicle, and
- ii) one boat and trailer.

PART 7.0 ZONING REGULATIONS

7.1 Zones

- a) The Zones, as shown on Schedule A which is attached to and forms part of this Bylaw have the following the regulations assigned to each Zone as outlined below:

7.1.1 Residential Uses

Permitted Residential Uses	R-1 Zone	R-2 Zone	R-3 Zone	R-4 Zone	R-5 Zone
----------------------------	----------	----------	----------	----------	----------

PERMITTED USES					
Detached Dwelling	◆	◆	◆		◆
Duplex Dwelling		◆			
Townhouse Dwelling				◆	
ACCESSORY USES					
Home Occupation	◆	◆		◆	
Accessory Residential Suite or a Coach House, but not both. <u>The Accessory Residential Suite or the Coach House must be above the 14.55M FCL</u>	◆	◆			
Accessory Buildings or Structures	◆	◆	◆	◆	

DEVELOPMENT REGULATIONS FOR THE RESIDENTIAL ZONES

Residential Development Regulations	R-1 Zone	R-2 Zone	R-3 Zone	R-4 Zone	R-5 Zone
Minimum Lot Size for subdivision purposes(m ²)	925 ⁽¹⁾ 540 ⁽²⁾	925 ⁽¹⁾ 697 ⁽²⁾ 1125 ⁽³⁾ 925 ⁽⁴⁾	360 ⁽²⁾	1500 ⁽²⁾	130 ⁽²⁾
Subdivision for a relative (Ha)	2.5	2.5	2.5	2.5	2.5
Minimum Lot Width (m)	18	18 ⁽⁵⁾ 24 ⁽⁶⁾	12.5	22.5	9
Maximum Density	NA	NA	NA	35	50

(units / ha)					
Maximum Lot Coverage (%)	40	40	55	55	50
Minimum Front Setback (m)	6 7.5	6 7.5	4.5	4.5	2 6 with a front deck
Minimum Rear Setback (m)	<u>The Rear Setback is 6 M for the Principal Building or Structure and is a minimum of 1.5 M for the Coach House</u> 7.5	<u>The Rear Setback is 6 M for the Principal Building or Structure and is a minimum of 1.5 M for the Coach House</u> 7.5	4	7.5	3.5
Minimum Interior Side Setback (m)	1.2 5	1.2 5	1.2	3.6	1.2
Minimum Exterior Side Setback (m)	3.6 1.2	3.6 1.2	3.6	7.5	1.2
Maximum Height (m)	10 7	10 7	10.7	11	10.7
Maximum Number of Storeys	<u>3 storeys for the principal dwelling, 2 storeys for the Coach House</u>	<u>3 storeys for the principal dwelling, 2 storeys for the Coach House</u>	<u>NA</u>	<u>NA</u>	<u>NA</u>
Minimum Amenity Area (m ²)	NA	NA	NA	5 per unit ⁽⁷⁾ 10 per unit ⁽⁸⁾	NA
Off-Street Parking	As per the requirements of this bylaw, as amended from time to time	As per the requirements of this bylaw, as amended from time to time	As per the requirements of this bylaw, as amended from time to time	As per the requirements of this bylaw, as amended from time to time	As per the requirements of this bylaw, as amended from time to time

Notes:

- 1/. Sewer only
- 2/. Must be hooked into a Community Water System and a Community Sewer System
- 3/. Duplex – with sewer only
- 4/. Duplex – must be hooked into a Community Water System and a Community Sewer System
- 5/. Detached Dwelling Unit
- 6/. Duplex Dwelling Unit
- 7/. When a development consists of 10 units or less
- 8/. When a development consists of 11 units or more

Additional Requirements:

- 1/. For any home occupations refer to the off-street parking requirements of this Bylaw, as amended from time to time.

2/. Accessory Building and Structure requirements are noted below:

Residential Accessory Building or Structure Regulations	R-1 Zone	R-2 Zone	R-3 Zone	R-4 Zone	R-5 Zone
Maximum Number of Buildings or Structures	2	2	2	2	NA
Minimum Front Setback (m)	15	7.5	4.5	4.5	NA
Minimum Rear Setback (m)	1.5	1.5	1	1.5	NA
Minimum Interior Side Setback (m)	1.5	1.5	1.2	3.6	NA
Minimum Exterior Side Setback (m)	7.5	3.6	3.6	7.5	NA
Maximum Height (m)	5	5	5	5	NA
<u>Maximum Height for Coach Houses (m)</u>	<u>8</u>	<u>8</u>	<u>NA</u>	<u>NA</u>	<u>NA</u>

7.1.2 Commercial Uses

Permitted Commercial Uses	C-1 Zone	C-2 Zone	C-3 Zone	C-4 Zone
PERMITTED USES				
Community Care Facility	♦	♦		
Medical Clinic	♦			
Apartments	♦	♦	♦	
Entertainment facility	♦			
Service Station	♦			
Tourist Accommodation	♦	♦	♦	
Financial Institutions	♦			
Cultural Uses	♦			
Pubs	♦			♦
Offices	♦			
Personal Services Uses	♦			
Parking Garage	♦			
Retail Establishments	♦			♦
Restaurants	♦	♦		♦
Convenience Stores	♦	♦		
Catering Establishments	♦			
Marinas/Float Plane Dock				♦
Campground/Holiday Parks			♦	
Recreation Facility	♦			
Detached Dwelling	♦		♦	
Micro-Brewery ⁽¹⁾	♦			♦
ACCESSORY USES				
Apartment	♦	♦	♦	♦
Detached Dwelling	♦	♦	♦	♦
Accessory Buildings or Structures	♦	♦	♦	♦